

CITY OF ROCKVILLE

City Hall

229 Broadway Street East

PO Box 93

Rockville, MN 56369

Planning/Zoning Commission Meeting Tuesday, May 7, 2019 6:00 p.m. at City Hall

AGENDA

- 1. Roll Call**
- 2. Additions/Approval of Agenda**
- 3. Approval of March 5, 2019 Meeting Minutes**
- 4. Public Hearing - Rezone**
 - a) John and Lisa Lutgen – Rezone Ag-40 to RR with PUD Overlay
- 5. Public Hearing - CUP**
 - a) Edward J. Zapp Rev Trust and Verizon Wireless – CUP for Wireless Telecommunication Tower
- 6. Ordinance Amendments**
- 7. March and April 2019 Building Permits**
- 8. Other Business**
 - a) Next meeting Tuesday, June 4, 2019, 6:00 p.m.
- 9. Adjournment**

*This agenda has been prepared to provide information regarding an upcoming meeting of the Rockville City Planning Commission. This document does not claim to be complete and is subject to change.

MINUTES OF THE CITY OF ROCKVILLE PLANNING AND ZONING COMMISSION MEETING
Tuesday, March 5, 2019, 6:00 p.m. – Rockville City Hall

Item 1) Roll Call - The meeting was called to order by Chair Bill Becker at 6:04 p.m. Roll call was taken and the following members were present: Bill Becker, Brian Herberg, Corey Schreifels, and Chad Schmitt.

Absent: Dave Meyer.

Staff present: City Administrator, Martin Bode.

Others present: Various members of the public.

Item 2) Approval of Agenda/Amendments

Motion by Schreifels, second by Herberg, to approve the agenda as presented. Motion carried unanimously.

Item 3) Approval of February 5, 2019 Meeting Minutes

Motion by Becker, second by Schreifels, to approve the February 5, 2019 meeting minutes as presented. Motion carried unanimously.

Item 4) Final Plat Schneider Farm

Staff Report

Re: Property Subdivision/Final Plat

Irene T. Schneider Trust and Jonathan M. Schneider

Owner: Irene Schneider Trust and Jonathan Schneider

Property Address: 7788 County Road 41

Plat known as: Schneider Farm

Parcel I.D. 76.42170.0051 and 76.42170.0050 - Section 25, Township 123, Range 029

Request:

Final Plat application of eleven (11) new lots and one (1) existing.

Relevant Information:

1. Property is zoned RR.
2. Total plat area is 94.65 +/- and 10.00 +/- acres.
3. There are eleven (11) new lots and one (1) existing lot being proposed to be subdivided.
4. Purpose is residential development.
5. Not conducive to long-term agriculture use; wooded area, rock outcroppings and marginal soils.
6. Developers Agreement has been drafted.

Recommendation:

Consider approval of:

1. Final Plat
2. Developers Agreement

Planning Commission held a brief discussion on road requirements.

Motion by Schreifels, second by Becker, to approve the Schneider Farm Final Plat. Motion carried unanimously.

Motion by Herberg, second by Schreifels, to approve the Schneider Farm Developers Agreement. Motion carried unanimously.

Item 5) February 2019 Building Permits

The February 2019 building permits report was reviewed by the Planning Commission members.

Item 6) Other Business

- a. Next meeting scheduled for Tuesday, April 2, 2019 at 6:00 p.m.

Item 7) Adjournment

Motion by Becker, second by Schreifels, to adjourn the meeting. Motion carried unanimously. Meeting adjourned at 6:13 p.m.

Respectfully submitted,

*Martin M. Bode
Zoning Administrator*

STAFF REPORT

May 7 and May 8, 2019

Rockville Planning Commission / City Council

RE: Rezoning Application Ag-40 to RR with PUD Overlay

Owner: John and Lisa Lutgen

The legal description of the property is: The Southeast Quarter of the Northeast Quarter (SE1/4 NE1/4), LESS AND EXCEPT: The South one-fourth of the SE1/4 of NE1/4, all in Section (5) in Township one hundred twenty-three (123), Range twenty-nine (29), Stearns County, Minnesota. Parcel No. 76.41607.0900

Request:

To change the current zoning district of Ag-40 to RR-PUD Rural Residential Planned Unit Development.

Relevant Information:

1. Property is currently zoned Ag-40.
2. Lot size is 30 +/- acres.
3. 10 notices of public hearing were sent out.
4. Purpose of request is to further subdivide Parcel into six (6) 5-acre lots. Note, some of the lots are using road right-of-way (ROW) to meet the 5-acre parcel requirements in an R-R district.
5. Not prime farmland.
6. Future Land Use Map shows Agricultural Transitional.

Recommendation:

Submitted by:
Martin M. Bode
Zoning Administrator

CITY OF ROCKVILLE

229 Broadway Street East

P.O. Box 93

Rockville MN 56369

Phone 320-251-5836

Fax 320-240-9620



Duane Willenbring, Mayor
Bill Becker, Councilor
Brian Herberg, Councilor
Don Simon, Councilor
Jerry Tippelt, Councilor

Martin M. Bode, City Administrator
Judy Neu, Finance/Billing Clerk/Admin Asst.
Gene Van Havermaet, Public Works Director
Fabian Tomaschett, Maintenance/Mechanic
Debbie Weber, Administrative Assistant

Rockville City is an equal opportunity provider and employer

NOTICE OF PUBLIC HEARING CITY OF ROCKVILLE

Notice is hereby given that the Rockville Planning Commission will hold a public hearing on **Tuesday, May 7, 2019 at approximately 6:00 p.m. at Rockville City Hall – 229 Broadway Street East** to consider the request of John and Lisa Lutgen to rezone the property. The legal description of the property is: The Southeast Quarter of the Northeast Quarter (SE1/4 NE1/4), LESS AND EXCEPT: The South one-fourth of the SE1/4 of NE1/4, all in Section (5) in Township one hundred twenty-three (123), Range twenty-nine (29), Stearns County, Minnesota. Parcel No. 76.41607.0900

The request is rezone from A-40 to RR with PUD Overlay.

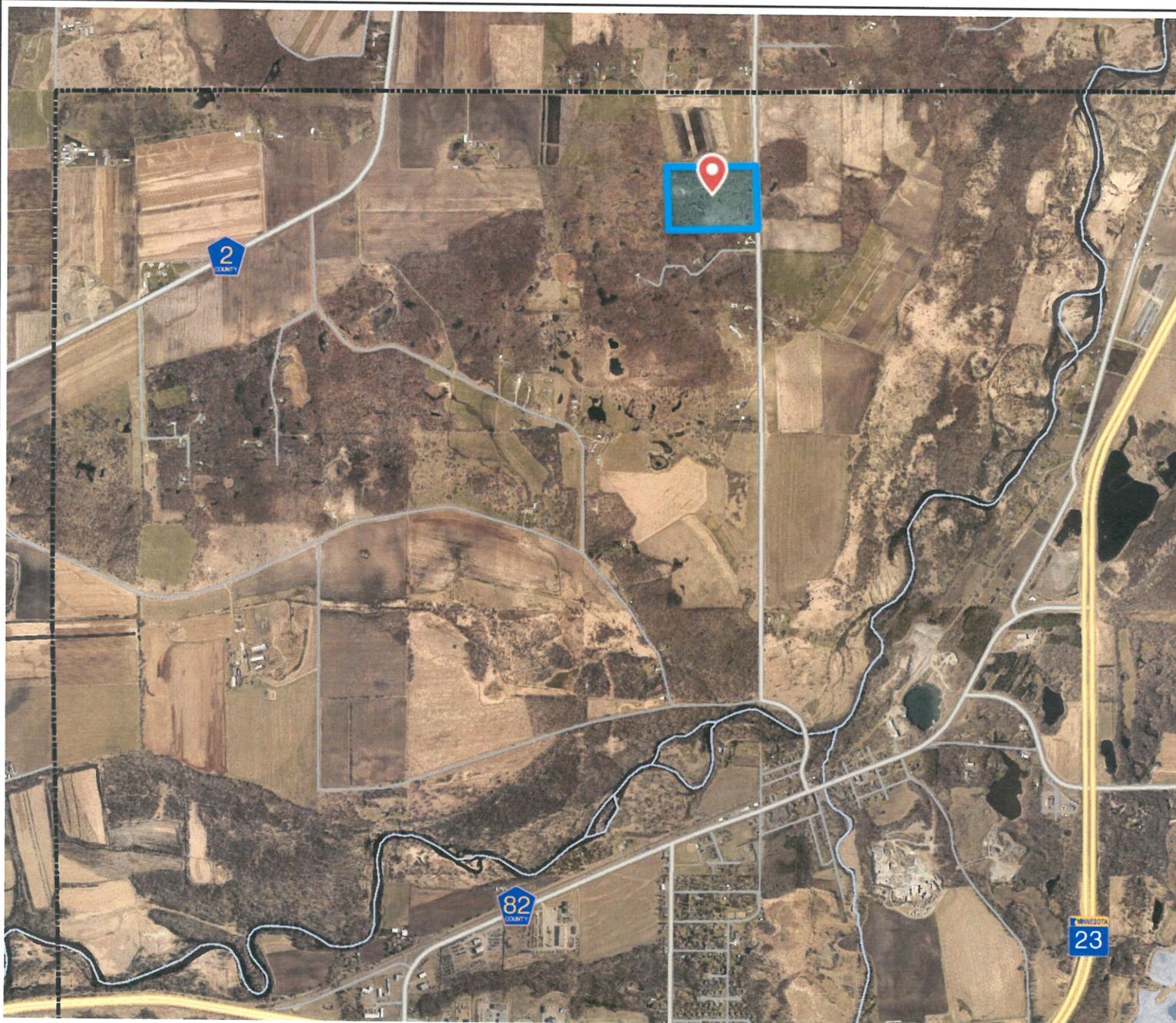
All persons attending the hearing and wishing to address the Planning Commission will have an opportunity to do so. Those not able to be present at this meeting should submit their opinions in writing to the Rockville City Administrator, P.O. Box 93, Rockville, MN 56369 prior to the hearing.

Martin M. Bode
City Administrator/Clerk

Publish April 23, 2019
Cold Spring Record

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City of Rockville, Minnesota

Granite - Heart of the City

Legend

- City Limits
- Roads**
 - Interstate
 - State Highways
 - County Highways
 - Local Roads
- PWI Watercourse
- PWI Basin

Lutgen Rezone



Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Rockville is not responsible for any inaccuracies herein contained.

0 2,107 Feet

© Bolton & Menk, Inc - Web GIS 4/12/2019 1:33 PM



STATE OF MINNESOTA)
)ss.
COUNTY OF STEARNS)

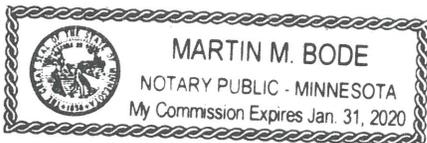
AFFIDAVIT OF SERVICE

Debbie R. Weber, being duly sworn, on oath says that at the City of Rockville in said County and State, on the **17th** day of **April, 2019**, he/she served the annexed Notice on **see attachment**, the person therein named, personally, by then and there handing to and leaving with him/her a true and correct copy of said Notice.


Signature

Subscribed and sworn to before me this 17 day of April, 2019.


Notary Public Signature



Notary Public Stamp

NAME	ADDRESS	CITY
BERNADINE E MASSMANN TRUST	25232 COUNTY ROAD 139	ST CLOUD MN 56301
DOUGLAS KUKLOK	11427 255TH ST	ST CLOUD MN 56301
GARY S & KIMBERLEY GILLITZER	11428 255TH ST	ST CLOUD MN 56301
GLEN H & SANDI L HILSGEN	11426 255TH ST	ST CLOUD MN 56301
JAMES J MATHIES REV TRUST	28195 124TH AVE	ST JOSEPH MN 56374
JEROME P & DONNA MAE KARLS	12113 260TH ST	ST CLOUD MN 56301
JOHN H & LISA L LUTGEN	3130 COUNTY ROAD 137	WAITE PARK MN 56387
RICHARD & SHARON LEITHER	25573 COUNTY ROAD 139	ST CLOUD MN 56301-9720
STEARNS COUNTY HIGHWAY	PO BOX 246	ST CLOUD MN 56302
ST JOSEPH TOWNSHIP	PO BOX 585	ST JOSEPH MN 56374

10 Notices

CITY OF ROCKVILLE

REQUEST TO CHANGE ZONING DISTRICT

The information on this form must be typed or printed legibly. State law requires that a public hearing must be held to rezone property. The applicant **must** attend the public hearing to discuss the request, which will be held before the Planning Commission. The Planning Commission shall make a report to the City Council upon any application for rezoning and shall recommend to the City Council (³/₄ vote required) whatever action it deems advisable. The Planning Commission meeting is held the 1st Tuesday of each month at 6:00 p.m. The City Council meetings at which zoning issues will be considered are held on the 2nd Wednesday of each month at 6:00 p.m.

Owner's Name: John & Lisa Lutgen mailing address = 3130 CR137, White Park MN 56367
Applicant's Name: Sam DeLeo mailing address 13 11th Ave N. St. Cloud, MN 56303
Property Address: Unassigned - P10# 76.41607.0900
Phone: John (320) 241-0715 Sam (320) 492-1824
Presently Zoned: "A-40" Agricultural Requested Zoning: Rural Residential with PUD Overlay

The Applicant must provide a legal description (from abstract/deed) for the property. The City will not be responsible for utilizing an incorrect legal description. This information is required to make sure that maps are properly updated, and that the project that follows the rezoning conforms to the Zoning Ordinance. Please write the legal description here; if it is lengthy, you may attach on a separate sheet (in this case write "see attached sheet").

SEE attached sheet

Signature of Applicant: Sam DeLeo Date: 4-5-2019

Do not check the boxes below (this section listed below must be completed by the Zoning Administrator). The Zoning Administrator will check "yes" if the applicant has met that specific requirement or there is an unusual reason that the requirement does not apply (in which case the reason must be noted in the space provided).

YES NO # Item

- 1. **Fee Paid.** The Applicant must submit payment for the rezoning application fee of \$200.00 prior to processing this application. Once the notice has been sent to the *Cold Spring Record*, the fee is non-refundable.
- 2. **Site Plan.** A site plan of the *proposed* use of the property *after* the property has been rezoned must be submitted with this application. The site plan must be neatly drawn **to scale**; grid paper is available at City Hall if needed. Be sure to draw, label and show dimensions for:

<input type="checkbox"/> All Buildings	<input type="checkbox"/> North Directional Arrow	<input type="checkbox"/> Streets
<input type="checkbox"/> Alleys	<input type="checkbox"/> Sidewalks	<input type="checkbox"/> Property Lines
<input type="checkbox"/> Lot Dimensions	<input type="checkbox"/> Driveways & All Curb Cuts	<input type="checkbox"/> Decks
<input type="checkbox"/> Wells	<input type="checkbox"/> Utility Sheds	<input type="checkbox"/> Easements
- 3. **Floodplain or Shoreland District.** The Zoning Ordinance requires that staff shall determine whether or not the property is located within either the Floodplain or Shoreland District. If so, there are likely additional restrictions that apply. Indicate below whether the property lies within either of these districts after you've consulted with City staff. If so, a copy of the notice of public hearing must be sent to the Commissioner of Natural Resources.

<input type="checkbox"/> Yes	<input type="checkbox"/> No	Is the property located within a Floodplain District?
<input type="checkbox"/> Yes	<input type="checkbox"/> No	Is the property located within a Shoreland District?
- 4. **Legal description.** The applicant must provide an electronic copy of an accurate legal description to the Zoning Administrator. This should be accomplished by E-mailing the legal description in Microsoft Word format to mbode@rockvillecity.org
- 5. **Hearing Date.** The date of the Public Hearing will generally be scheduled for the Planning Commission meeting nearest the date that the application is submitted if possible. That date may be impacted by other factors, however. The applicant should be notified of the *probable* date of the hearing at the time that the application is submitted.

<u>5-7-19</u>	Public Hearing and Planning Commission meeting date.
<u>5-8-19</u>	City Council meeting date (³ / ₄ vote required).
- 6. **Narrative.** The applicant must provide a written explanation of the purpose for requesting the rezoning. The narrative should explain **in detail** what action will be taken with the property once the property has been rezoned. Be sure to include arguments why approving the request is a good idea for the *community*. Please write the narrative here; if it is lengthy, you may attach on a separate sheet (in this case write "See attached sheet").

Staff use only.

Planning Commission Decision: _____ Date: _____
 City Council Decision: _____ Date: _____
 Comments: _____

Legal Description

The Southeast Quarter of the Northeast Quarter (SE1/4 NE1/4), LESS AND EXCEPT: The South one-fourth of the SE1/4 of NE1/4, all in Section (5) in Township One Hundred Twenty-three (123), Range Twenty-nine (29), Stearns County, Minnesota.

Petition for Rezoning

April 5, 2019

Property Legal Description

The Southeast Quarter of the Northeast Quarter (SE1/4 NE1/4), LESS AND EXCEPT: The South one-fourth of the SE1/4 of NE1/4, all in Section (5) in Township One Hundred Twenty-three (123), Range Twenty-nine (29), Stearns County, Minnesota.

I, John Lutgen, fee owner of the above described property hereby petition the City of Rockville to rezone said property from the current zoning of "A-40" Agricultural District to a "R-R" Rural Residential District with a "PUD" Planned Unit Development District overlay.



John Lutgen

Project Narrative

Prepared by:

Sam DeLeo, PLS
Kramer Leas DeLeo, P.C.
13 11th Ave. N.
St. Cloud, MN 56303

Project Owners:

John and Lisa Lutgen
3130 Co Rd 137
Waite Park, MN 56387

Property Legal Description:

The Southeast Quarter of the Northeast Quarter (SE1/4 NE1/4), LESS AND EXCEPT: The South one-fourth of the SE1/4 of NE1/4, all in Section (5) in Township One Hundred Twenty-three (123), Range Twenty-nine (29), Stearns County, Minnesota.

Current Zoning: "A-40" Agricultural District

Proposed Zoning: "R-R" Rural Residential District with a "PUD" Planned Unit Development District overlay

The existing property consists of a parcel of land roughly 29.35 acres in size that is located on the west side of County Road 139 and about one-quarter of a mile south of the northerly limits of the City of Rockville. The property is covered primarily with mature woods and some low land. The topography is very hilly with 8 to 10 percent slopes.

There is one existing field entrance on CR 139 that provides access to the property. CR 139 is quite hilly in this area and sight conditions for a future roadway into the property is a concern. The location of the roadway shown on the attached Concept Layout A is about 180 feet south of the existing field entrance. The location of this access point may change in order to address any safety concerns. The Stearns County Highway Engineer will be consulted to determine a safe location for a future roadway into the development.

The City's purpose and goals for "R-R" Rural Residential Districts is to "provide areas for low density, rural residential structures in agricultural/rural areas on lands that due to substantial coverage by wooded areas, rock outcroppings, marginal soils, steep topographies where soil erosion is of risk and not conducive long-term agricultural use". That description fits this property quite well as it is heavily wooded, has large boulders on it, and is made up of several areas of steep slopes which make it not very conducive to agricultural practices. We consider these distinct features as assets that give the property a unique character that the owners are trying to preserve as they develop this land.

The R-R District allows for 5 acre lots (8 lots per 40 acre tract). This land is roughly 30 acres in size indicating that this land would be afforded 6 lots, 5 acres in size. The Ordinance does not indicate if this 5 acre size accounts for the necessary dedication of road right of way for roads adjacent to and within the property. The attached Concept Drawing A depicts a conceptual layout of 6 lots with County Road 139 along the east boundary and right of way for a future city street to serve the lots shown. This layout lists two areas for each lot. The area listed in the yellow colored font is the anticipated area of each conceptual lot without compensation for the area of the road right of way. The area listed in the magenta colored font provides the area of the conceptual lot including the adjacent right of way. The northerly two lots and the easterly lots include all of the area for the right of way adjacent to them and the westerly and southerly lots do not account for any area of the adjacent right of way. This was done in order to provide a graphical reference to the difference for say a 3.8 acre lot to a 5.0 acre lot as is shown in the northeast lot of the property. This concept drawing also shows the desired building site locations. Due to the topography, the location of building sites is limited as is the location where a roadway to serve the lots can be constructed.

Part of the purpose of a PUD is to allow a land owner some flexibility in the design and development of land in order to promote its appropriate use and to preserve natural and scenic qualities. It is also to facilitate economical provisions of streets and utilities. Given the physical challenges offered by this property and the economic challenges it is difficult to construct a roadway for this development without maximizing the density. We have identified 6 potential building site locations as dictated by the topography of the property and we believe that we can continue to develop this project with lots no less than 3 acres in size, not including the road right of way and a maximum number of lots not to exceed 6 lots. Please keep in mind that Stearns County's minimum lot size for a lot in an agricultural district is only 1 acre. If granted this requested rezoning it is our intent to provide the City with a detailed plan and a subdivision plat that depicts 6 attractive rural residential lots and the necessary right of way to construct a city street to serve these lots. We believe that the development of these lots will provide much needed locations for families within our community and it will increase the tax base for the city as well.



A product of the National Cooperative Soil Survey, a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local participants

Custom Soil Resource Report for Stearns County, Minnesota

Lutgen Property



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

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Contents

Preface	2
Soil Map	5
Soil Map.....	6
Legend.....	7
Map Unit Legend.....	8
Map Unit Descriptions.....	8
Stearns County, Minnesota.....	10
204B—Cushing sandy loam, 2 to 8 percent slopes.....	10
204C—Cushing sandy loam, 8 to 15 percent slopes.....	11
292B—Alstad sandy loam, 1 to 4 percent slopes.....	12
873—Prebish-Nokay complex.....	13
References	16

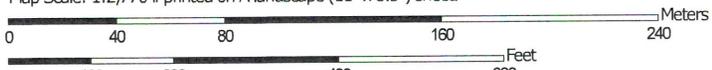
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:2,770 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 15N WGS84

MAP LEGEND

- Area of Interest (AOI)**
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features
- Water Features**
-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Stearns County, Minnesota
 Survey Area Data: Version 16, Sep 12, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 5, 2016—Oct 6, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
204B	Cushing sandy loam, 2 to 8 percent slopes	16.9	46.9%
204C	Cushing sandy loam, 8 to 15 percent slopes	13.6	37.6%
292B	Alstad sandy loam, 1 to 4 percent slopes	1.6	4.5%
873	Prebish-Nokay complex	4.0	11.1%
Totals for Area of Interest		36.1	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate

Custom Soil Resource Report

pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Stearns County, Minnesota

204B—Cushing sandy loam, 2 to 8 percent slopes

Map Unit Setting

National map unit symbol: gcgt
Elevation: 780 to 1,360 feet
Mean annual precipitation: 23 to 29 inches
Mean annual air temperature: 37 to 43 degrees F
Frost-free period: 120 to 175 days
Farmland classification: All areas are prime farmland

Map Unit Composition

Cushing and similar soils: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Cushing

Setting

Landform: Moraines
Landform position (two-dimensional): Backslope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Till

Typical profile

A - 0 to 5 inches: sandy loam
E - 5 to 15 inches: sandy loam
B/E - 15 to 19 inches: sandy loam
Bt - 19 to 47 inches: sandy clay loam
C - 47 to 60 inches: sandy loam

Properties and qualities

Slope: 2 to 8 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.14 to 0.57 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum in profile: 10 percent
Available water storage in profile: High (about 9.0 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: B
Forage suitability group: Sloping Upland, Acid (G090XN006MN)
Hydric soil rating: No

Minor Components

Demontreville

Percent of map unit: 3 percent

Custom Soil Resource Report

Hydric soil rating: No

Prebish

Percent of map unit: 3 percent

Landform: Depressions on moraines, drainageways on moraines

Hydric soil rating: Yes

Jewett

Percent of map unit: 2 percent

Hydric soil rating: No

Nokay

Percent of map unit: 2 percent

Hydric soil rating: No

204C—Cushing sandy loam, 8 to 15 percent slopes

Map Unit Setting

National map unit symbol: gcv

Elevation: 780 to 1,360 feet

Mean annual precipitation: 23 to 29 inches

Mean annual air temperature: 37 to 43 degrees F

Frost-free period: 120 to 175 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Cushing and similar soils: 90 percent

Minor components: 10 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Cushing

Setting

Landform: Moraines

Landform position (two-dimensional): Backslope

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Till

Typical profile

A - 0 to 5 inches: sandy loam

E - 5 to 12 inches: sandy loam

B/E - 12 to 19 inches: sandy loam

Bt - 19 to 31 inches: sandy clay loam

C - 31 to 60 inches: sandy loam

Properties and qualities

Slope: 8 to 15 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.14 to 0.57 in/hr)

Custom Soil Resource Report

Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum in profile: 10 percent
Available water storage in profile: Moderate (about 8.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 3e
Hydrologic Soil Group: C
Forage suitability group: Sloping Upland, Acid (G090XN006MN)
Hydric soil rating: No

Minor Components

Demontreville

Percent of map unit: 3 percent
Hydric soil rating: No

Prebish

Percent of map unit: 3 percent
Landform: Depressions on moraines, drainageways on moraines
Hydric soil rating: Yes

Jewett

Percent of map unit: 2 percent
Hydric soil rating: No

Nokay

Percent of map unit: 2 percent
Hydric soil rating: No

292B—Alstad sandy loam, 1 to 4 percent slopes

Map Unit Setting

National map unit symbol: gch8
Elevation: 800 to 2,000 feet
Mean annual precipitation: 23 to 29 inches
Mean annual air temperature: 37 to 43 degrees F
Frost-free period: 120 to 175 days
Farmland classification: All areas are prime farmland

Map Unit Composition

Alstad and similar soils: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Alstad

Setting

Landform: Moraines
Landform position (two-dimensional): Backslope

Custom Soil Resource Report

Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Till

Typical profile

Ap - 0 to 7 inches: sandy loam
E - 7 to 13 inches: sandy loam
Bt1,Bt2 - 13 to 35 inches: sandy clay loam
Bt3 - 35 to 46 inches: sandy loam
C - 46 to 60 inches: sandy loam

Properties and qualities

Slope: 1 to 4 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to high
(0.14 to 1.98 in/hr)
Depth to water table: About 12 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum in profile: 10 percent
Available water storage in profile: Moderate (about 8.6 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 2e
Hydrologic Soil Group: B/D
Forage suitability group: Level Swale, Acid (G090XN005MN)
Hydric soil rating: No

Minor Components

Prebish

Percent of map unit: 10 percent
Landform: Depressions on moraines, drainageways on moraines
Hydric soil rating: Yes

873—Prebish-Nokay complex

Map Unit Setting

National map unit symbol: gckg
Elevation: 700 to 1,500 feet
Mean annual precipitation: 23 to 29 inches
Mean annual air temperature: 37 to 43 degrees F
Frost-free period: 120 to 175 days
Farmland classification: Not prime farmland

Map Unit Composition

Prebish and similar soils: 45 percent
Nokay and similar soils: 35 percent
Minor components: 20 percent

Custom Soil Resource Report

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Prebish

Setting

Landform: Depressions on moraines, depressions on interdrumlins

Down-slope shape: Concave

Across-slope shape: Concave

Parent material: Till

Typical profile

A - 0 to 18 inches: loam

Bg - 18 to 47 inches: sandy loam

2Cd - 47 to 60 inches: sandy loam

Properties and qualities

Slope: 0 to 1 percent

Depth to restrictive feature: 40 to 60 inches to densic material

Natural drainage class: Very poorly drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.14 to 0.57 in/hr)

Depth to water table: About 0 inches

Frequency of flooding: None

Frequency of ponding: Frequent

Calcium carbonate, maximum in profile: 15 percent

Available water storage in profile: Moderate (about 8.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 4w

Hydrologic Soil Group: B/D

Forage suitability group: Poned If Not Drained (G090XN013MN)

Hydric soil rating: Yes

Description of Nokay

Setting

Landform: Moraines, drumlins

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Till

Typical profile

A - 0 to 4 inches: fine sandy loam

E - 4 to 12 inches: sandy loam

Btg - 12 to 24 inches: sandy loam

Bt - 24 to 40 inches: sandy loam

Cd - 40 to 60 inches: sandy loam

Properties and qualities

Slope: 0 to 2 percent

Depth to restrictive feature: 30 to 60 inches to densic material

Natural drainage class: Somewhat poorly drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.14 to 0.57 in/hr)

Depth to water table: About 6 inches

Frequency of flooding: None

Frequency of ponding: None

Custom Soil Resource Report

Available water storage in profile: Low (about 5.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 2w

Hydrologic Soil Group: C/D

Forage suitability group: Level Swale, Acid (G090XN005MN)

Hydric soil rating: No

Minor Components

Alstad

Percent of map unit: 10 percent

Hydric soil rating: No

Cathro

Percent of map unit: 10 percent

Landform: Depressions on moraines

Hydric soil rating: Yes

References

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- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelpdb1043084>

Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242

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Project Property



Parcel ID 76.41607.0900
 Acreage 30
 Sec/Twp/Rng 5-123-29
 Legal Plat

Property Address Unassigned

Owner Address JOHN H & LISA L LUTGEN
 WAITE PARK MN 56387

District 7605 ROCKVILLE CITY 750
 Class 2B-Rural Vacant Land/Non-Productive - Non Homestead,
 Brief Tax Description 30.00A N3/4SE4NE4

0 190 380 760 Feet



Data is as represented in Stearns County Databases. It is NOT Intended for Locational Use and Stearns County waives all liability from this product.

The map is made available on an "as-is" basis without express or implied warranty of any sort including, specifically any implied warranties of fitness for a particular purpose, warranties of merchantability or warranties relating to the accuracy or completeness of the database(s).

Auditor/Treasurer
 Division of Land Management
 April 5, 2019



SEC. 5, TWP. 123, RNG. 29

Northeast corner of
Sec. 5, Twp. 123, Rng. 29

N 88° 27' 20" E 1341.44

Tract A
29.35 Acres

SE1/4 NE1/4

SW1/4 NE1/4

N 02° 10' 32" W 957.09

COUNTY ROAD 139

S 02° 24' 19" E 946.75

N 02° 24' 19" W 2366.87

S 88° 00' 46" W 1345.16

North line of the S1/4 SE1/4 NE1/4

1346.41

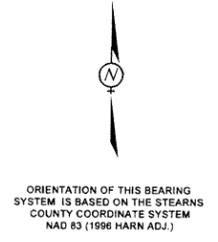
East Quarter corner of
Sec. 5, Twp. 123, Rng. 29

S 87° 51' 57" W 5376.23

West Quarter corner of
Sec. 5, Twp. 123, Rng. 29

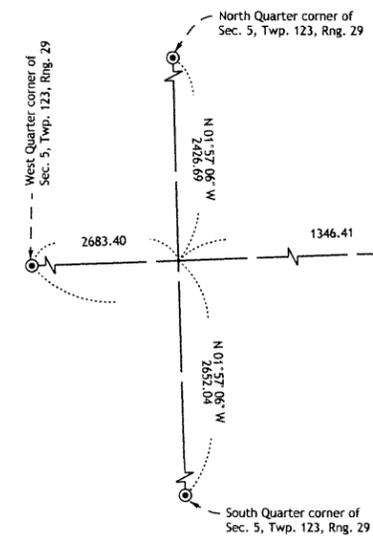
North Quarter corner of
Sec. 5, Twp. 123, Rng. 29

South Quarter corner of
Sec. 5, Twp. 123, Rng. 29

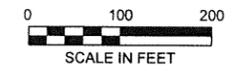


Legal Description

The Southeast Quarter of the Northeast Quarter (SE1/4 NE1/4), LESS AND EXCEPT: The South one-fourth of the SE1/4 of NE1/4, all in Section (5) in Township One Hundred Twenty-three (123), Range Twenty-nine (29), Stearns County, Minnesota.



This Survey Drawing represents the dimensions of the property described hereon as based on the current legal description of record and the Stearns County Surveyor Office's Section Plat Sheet for Section 5, Township 123, Range 29. The boundaries have not been physically surveyed.



NO.	REVISIONS SINCE INITIAL SURVEY DATED	DATE

13 North 11th Avenue
St. Cloud, MN 56303
320-259-1266

KRAMER LEAS DELEO
SURVEYING • ENGINEERING • PLANNING
BRainerd ST. CLOUD

I HEREBY CERTIFY THAT THIS PLAN, SURVEY, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *Samuel J. DeLeo* 4/05/2019
Samuel J. DeLeo, MN License No. 40341 Date

PROJECT NO. LUTGJ1901

CERTIFICATE OF SURVEY

Survey Drawing

For: John and Lisa Lutgen
Stearns County PID 76.41607.0900
City of Rockville, County of Stearns, State of Minnesota
Located in Section 5, Township 123 North, Range 29 West

Sheet No. 1 of 1

STAFF REPORT

May 7, 2019 and May 8, 2019

Rockville Planning Commission; City Council

Re: Conditional Use Permit Request
PID. 76.41638.0100: Owner: Edward J. Zapp as Trustee of the Edward J, Zapp Revocable Trust, Applicant: Verizon Wireless. Property Address:22807 Rausch Lake Road, Section 16 and 21, Township 123, Range 029, City of Rockville, Stearns County Minnesota.

Conditional Use Permit Requested:
For construction of a new 199-foot telecommunications tower

Relevant Information:

1. This property is located in the Ag-40 District.
2. Property contains 55.84 acres more or less.
3. 10 notices of public hearing were sent out.

SECTION 16 Subdivision 4 (19): Conditional Uses reads:

19. Commercial Wireless Telecommunication Service Towers subject to Section 13 of City Zoning Code.

Recommendations:

Approve With The Following Conditions:

1. All conditions of the City Zoning Code, Subdivision Code and other Ordinances are met, specifically those included in Section 13 of the City's Zoning Code.
2. That the proposed driveway be surfaced with Class 2 crushed granite or other similar material to minimize potential erosion issues.
3. That operation of said communications tower does not interfere with the emergency communications of the City's fire and rescue department or other public safety entity.

Submitted by:
Martin M. Bode
Zoning Administrator



CITY OF ROCKVILLE

229 Broadway Street East

P.O. Box 93

Rockville MN 56369

Phone 320-251-5836

Fax 320-240-9620

Duane Willenbring, Mayor
Bill Becker, Councilor
Brian Herberg, Councilor
Don Simon, Councilor
Jerry Tippelt, Councilor

Martin M. Bode, City Administrator
Judy Neu, Finance/Billing Clerk/Admin Asst.
Gene Van Havermaet, Public Works Director
Fabian Tomaschett, Maintenance/Mechanic
Debbie Weber, Administrative Assistant

Rockville City is an equal opportunity provider and employer

NOTICE OF PUBLIC HEARING CITY OF ROCKVILLE

Notice is hereby given that the Rockville Planning Commission will hold a public hearing on **Tuesday, May 7, 2019 at approximately 6:00 p.m. at Rockville City Hall – 229 Broadway Street East, Rockville, MN** to consider the request of Edward J. Zapp Rev Trust and Verizon Wireless for a **Conditional Use Permit** for construction of a wireless communications tower. The address of the property is: 22807 Rausch Lake Road, Parcel No. 76.41638.0100

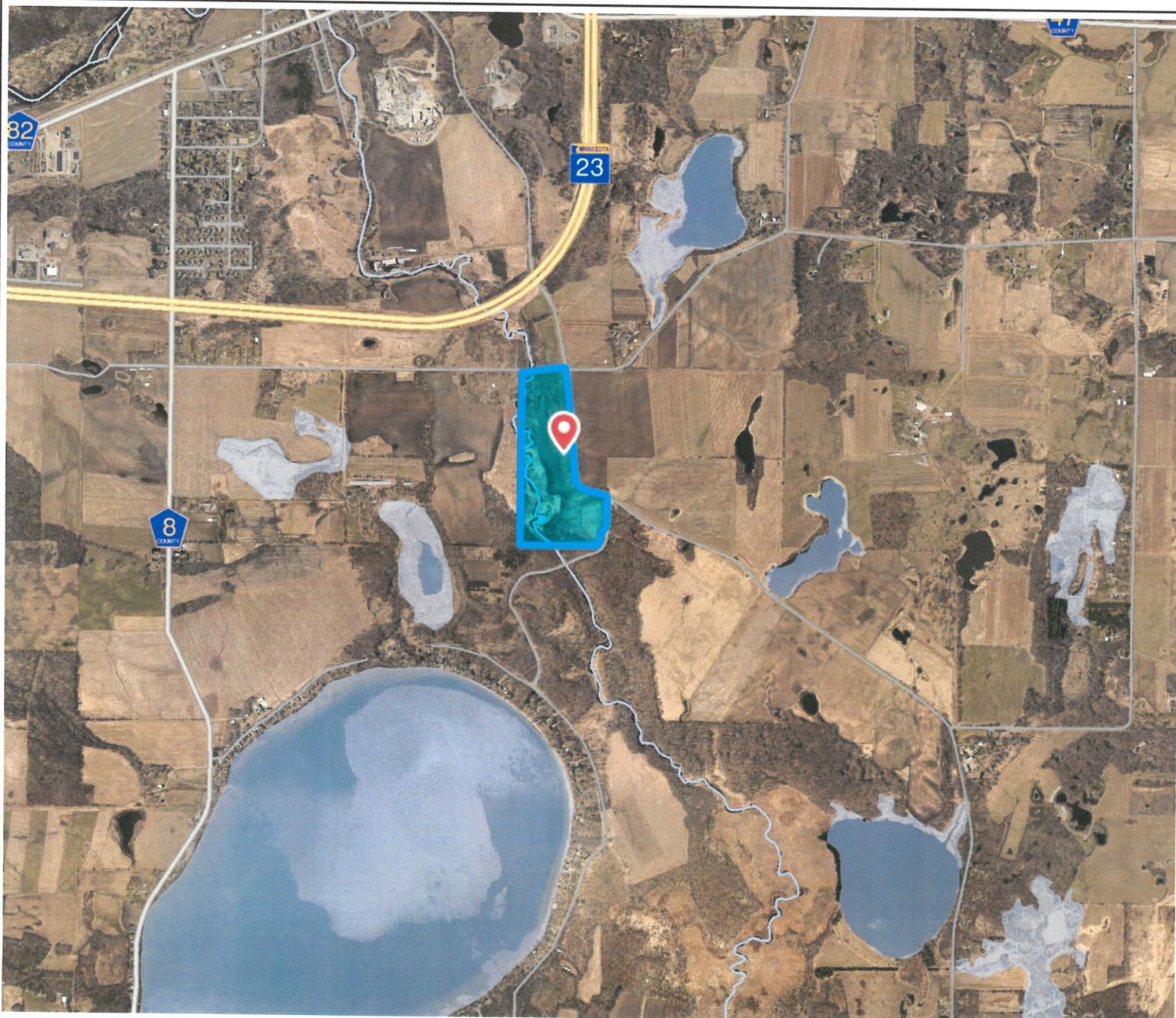
SECTION 16 Subdivision 4 (19): Conditional Uses reads:

19. Commercial Wireless Telecommunication Service Towers subject to Section 13 of City Zoning Code.

All persons attending the hearing and wishing to address the Planning Commission will have an opportunity to do so. Those not able to be present at this meeting should submit their opinions in writing to the Rockville City Administrator/Clerk, P.O. Box 93, Rockville, MN prior to the hearing, or be present at the public hearing.

Martin M. Bode
City Administrator/Clerk

Publish 04/23/19
Cold Spring Record



City of Rockville, Minnesota
Granite - Heart of the City

Legend

- City Limits
- Roads**
 - Interstate
 - State Highways
 - County Highways
 - Local Roads
- PWI Watercourse
- PWI Basin

**Zapp/Verizon
 C.U.P.**



Disclaimer:
 This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Rockville is not responsible for any inaccuracies herein contained.



STATE OF MINNESOTA)
)ss.
COUNTY OF STEARNS)

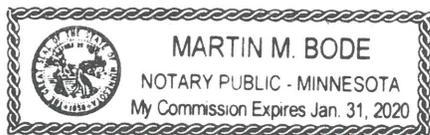
AFFIDAVIT OF SERVICE

Debbie R. Weber, being duly sworn, on oath says that at the City of Rockville in said County and State, on the **17th** day of **April, 2019**, he/she served the annexed Notice on **see attachment**, the person therein named, personally, by then and there handing to and leaving with him/her a true and correct copy of said Notice.


Signature

Subscribed and sworn to before me this 17 day of April, 2019.


Notary Public Signature



Notary Public Stamp

NAME	ADDRESS	CITY
ALFRED P & TANYA I MUELLER	10649 230TH ST	ST CLOUD MN 56301-9213
BRIAN G & MARY L FELDHEGE	9845 COUNTY ROAD 47	ST CLOUD MN 56301-9739
CLARENCE J & MARY ANN BLOCH REV TRUST	21990 COUNTY ROAD 8	COLD SPRING MN 56320
DANIEL J HANSEN	815 5 1/2 ST N	COLD SPRING MN 56320
EDWARD J ZAPP REV TRUST	21785 AGATE BEACH RD	ST CLOUD MN 56301-9736
GREGOR A SCHNEIDER	200 11 1/2 AVE S	COLD SPRING MN 56320
JOYCE C HANSEN	520 1ST ST NE APT 2111	SARTELL MN 56377-1242
PETER R WALZ	10238 AHLES RD	ST CLOUD MN 56301-9808
PIERRE T HANSEN TRUST	520 1ST ST NE APT 254	SARTELL MN 56377-1242
RAPHAEL & JEAN WALZ	11053 230TH ST	COLD SPRING MN 56320-9507

10 Notices



March 27th, 2019

Martin M. Bode
City Administrator
City of Rockville
PO Box 93
229 Broadway Street East
Rockville, MN 56369-0093

RE: STC Grand Rock – Conditional Use Permit Application for Verizon Proposed Telecommunications Tower Installation – 22807 Rausch Lake Road [Parcel #: 76.41638.0100]

Dear Mr. Bode:

Please find the below enclosed documents that complete Verizon's application for conditional use permit approval.

- Completed CUP Application
- Construction Drawings Signed and Sealed by a State of Minnesota licensed Professional Engineer\
- Boundary Survey depicting lease area and easements
- Check in the Amount of \$200 for Conditional Use Permit Application Fee
- Check in the Amount of \$46 for the Recording Fee
- List of all property owners within 350 feet including nearest 10 owners
- Aerial Photograph Depicting Site Location
- Aerial Map Showing No Existing Towers within 1 Mile Radius
- Federal Aviation Administration Determination of No Hazard
- FEMA Floodplain Map

Please confirm the date of the Planning Commission hearing.

If you have any questions, please feel free to contact me via phone at 847-212-2778 or via email at chris.barton@ntpwireless.com. Thank you in advance for your assistance.

Sincerely,

A handwritten signature in black ink, appearing to read 'Chris Barton', is written over a horizontal line.

Chris Barton
Agent On Behalf of Verizon Wireless

CITY OF ROCKVILLE

INTERIM USE APPLICATION AND PROCESS

PURPOSE AND INTENT

The purpose and intent of allowing interim uses is:

1. To allow a use for a brief period of time until a permanent location is obtained or while the permanent location is under construction.
2. To allow a use that is presently judged acceptable by the City, but that, with anticipated development or redevelopment, will not be acceptable in the future.
3. To allow a use that otherwise may not be allowed under the zoning regulations but because of its temporary nature may be acceptable.

PROCEDURE

Interim Use Permits will be processed according to the procedures for Conditional Use Permits.

GENERAL STANDARDS

An interim use **must comply with the following:**

1. The use must meet the Conditional Use Permit standards set forth in this Ordinance.
2. The use must conform to all applicable zoning regulations.
3. The date or event that will terminate the use must be identified with certainty.
4. The use must not impose additional, unreasonable costs on the public if it is necessary for the public to take the property in the future.
5. The applicant must agree to any conditions deemed appropriate by the City Council (after recommendation by the Planning Commission) for permitting the use.

ADDITIONAL CONDITIONS

In permitting an interim use, the City Council may, on its own or based upon the recommendation of the Planning Commission, impose, in addition to the standards and requirements expressly specified by this Ordinance, additional conditions the City Council considers necessary to protect the interests of the surrounding area.

TERMINATION

An interim use will terminate and become void upon the occurrence of any of the following events:

1. The date stated in the permit.
2. A violation of any condition under which the City Council issued the permit.
3. A change in the applicable zoning regulations, which no longer allows the use.
4. The operator/owner or the use changes.
5. The permit is not utilized for a period of one (1) year from the date issued.

REVOCACTION

The City Council may revoke the interim use permit if any of the permit's conditions are violated.

CERTIFICATION OF TAXES PAID

Before the City Council approves an interim use permit application, the City Council **may request that the applicant provide certification that there are not delinquent property taxes, special assessments, interest, or utility fees due upon the parcel of land to which the interim use permit application relates.**

PROCEDURES FOR CONDITIONAL USE PERMIT

The Conditional Use permit application must be filled out and completed by the Applicant. The following items should be included as part of the application.

PURPOSE

The purpose of this Section of the Zoning Ordinance is to provide the City with a reasonable degree of discretion in determining the suitability of certain designated uses upon the general welfare and public safety.

PROCEDURE

1. **Application.** A person applying for a Conditional Use Permit must fill out and submit to the Zoning Administrator a Conditional Use Permit Application form, accompanied by the required fee and detailed material fully explaining the specific request together with such information as is necessary to show compliance with this Ordinance. The application must include a site plan showing the following, as applicable:
 - A. **Application filled out & signed**
 - B. **Form to explain how the request for a Conditional Use Permit meets the zoning requirements.** (A Conditional Use Permit cannot be granted unless evidence is presented that satisfies the 9 conditions. Failure to adequately provide such information may result in a denial of your request for a conditional use permit.)
 - C. **Copy of Deed.**
 - D. **Provide Individual Property Owner names:** Within 350 feet or nearest 10 property owners (whichever is greatest)
 - E. **Applicant provides an Aerial Photo** (The photo would depict vegetative cover on property and how it links with adjacent property).
 - F. **Applicant provides the distance to the nearest existing driveways.**
 - G. **Application must include a site plan.**
Site plan shows the following, as applicable:
 1. Site description (legal description).
 2. A Certificate of Survey.
 3. Site plan drawn to scale showing the parcel and building dimensions, area and setbacks.
 4. Location of all existing and proposed buildings and their square footage.
 5. Curb cuts, driveways, access roads, parking spaces, off-street loading areas, sidewalks, vehicular circulation, and snow storage locations.
 6. Landscaping and screening plans.
 7. Waste facilities including enclosure and screening.
 8. Drainage and grading plan.
 9. Sanitary sewer and water plan with estimated use per day.
 10. Soil type.
 11. Any additional written or graphic information reasonably required by the Zoning Administrator or the Planning Commission.

2. **Fees.** A fee the City Council shall establish by resolution must accompany the application. **An additional fee may be charged for atypical projects, which in the opinion of the Zoning Administrator will require additional staff time and/or City Expenditures. In such case, the applicant will be required to reimburse the City for administrative time, professional services and costs incurred by the City.**
 - The required fee offsets –Staff time, publishing the public hearing notice, mailing notices to property owners, the regular scheduled meetings of the Planning Commission and Council. (**Note: There is an additional fee to hold a special meeting.)

When a complete Interim Use permit application is on file. (Here are the next steps).

1. **Referral to Planning Commission.** After the Zoning Administrator has reviewed the application and the date has been set for the public hearing, the Zoning Administrator shall refer the application to the Planning Commission, together with the Zoning Administrator's review and recommendations regarding the application.
2. **Planning Commission Review.** The Planning Commission shall consider the request at their next regularly scheduled meeting and shall make a recommendation and report to the City Council.
 - a) **Appearance by Applicant.** The applicant or the applicant's representative(s) must appear before the Planning Commission in order to answer questions concerning the Conditional Use Permit application.
 - a) **Recommendation by the Planning Commission.** After reviewing the Conditional Use Permit application, the Planning Commission will make a written recommendation to the City Council within forty-five (45) days after the Zoning Administrator receives the application as to whether the City Council should approve or deny the application. If approval is recommended, the Planning Commission may suggest conditions to be attached to the Conditional Use Permit.
 - b) **City Council's Review.** Upon receiving the Planning Commission's report and recommendation, the City Council may hold an additional public hearing, if deemed necessary, and make the final decision on all Conditional Use Permit applications.
 - a) **Appearance by Applicant.** The applicant or the applicant's representative(s) must appear before the City Council in order to answer questions concerning the Conditional Use Permit application.
5. **Vote Required.** Approval of a Conditional Use Permit will require passage by a majority of the votes cast.
6. **Conditions.** If the City Council grants the Conditional Use Permit, it may impose conditions to it, or the Planning Commission, considers necessary to protect the public health, safety and welfare.
7. **Written Findings.** The City Council will issue written findings stating the reasons for its decision and any conditions imposed, and will serve a copy of its decision on the applicant by U.S. mail, within ten (10) days after its decision. In any event, the City Council will make a decision on each Conditional Use Permit application within sixty (60) days after the Zoning Administrator receives the application or may extend the time for consideration under state law.

8. **Appeal.** An applicant may appeal the City Council's decision to the Stearns County District Court as provided by law.
9. **Amendments.** An application for an amendment to a Conditional Use Permit will be administered in the same manner as a Conditional Use Permit.
10. **Resubmission.** No application, which is substantially the same as and application of a denied Conditional Use Permit shall be resubmitted for a period of one (1) year from the date of denial. The City Council may permit a new application if, in its opinion, new evidence or a change of circumstances warrant reconsideration.

CRITERIA FOR GRANTING CONDITIONAL USE PERMITS

In granting a Conditional Use Permit, the City Council will consider the advice and recommendation of the Planning Commission and the effect of the proposed use upon the health, safety, morals, and general welfare of occupants of surrounding land, including land values. Among other things, the City Council must make the following findings when applicable.

1. **Not a Burden on Public Facilities.** The use will not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
2. **Compatible with Existing and Planned Adjacent Uses.** That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for existing and planned uses in the area.
3. **No Adverse Affect on Adjacent Properties.** The structure and site will not have an appearance, traffic, noise, odors, fumes, dust, vibration, light or emission levels or other features that will have an adverse effect upon adjacent properties for purposes already in use or permitted.
4. **Related to the Needs of the City.** The use is reasonably related to the overall needs of the City and to existing land uses.
5. **Consistent with the Comprehensive Plan.** The proposed use is in compliance with the Land Use Plan and other portion of the Comprehensive Plan adopted by the City.
6. **Not a Traffic Hazard.** The use will not cause a traffic hazard or congestion.
7. **Adequate Parking and Loading.** That maximum measures have been or will be taken to provide maximum off-street parking and loading space to serve the proposed use.
8. **Not detrimental to Health, Safety and Welfare.** The proposed use will not be detrimental to the public health, safety, comfort and general welfare of the City.
9. **Floodplain.** For property located in Floodplain districts, the criteria set out in the Floodplain Ordinance will be met.
10. **Shore land.** For property located in Shore land districts, the criteria set out in the Shore land Ordinance will be met.
11. **Feedlots.** Feedlots will meet the requirements of this Ordinance and all other applicable ordinances.

ADDITIONAL CONDITIONS

In permitting a new conditional use or the alteration of an existing conditional use, the Planning Commission may recommend the imposition of and the City Council may impose conditions considered necessary to protect the best interest of the surrounding area or the City as a whole, in addition to the standards and requirements expressly specified by this Ordinance. These conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimensions.
2. Limiting the height, size, number or location of buildings.
3. Controlling the location and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking spaces.
6. Limiting the number, size, location or lighting of signs.
7. Requiring diking, berming, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.
9. Designating operating hours and noise levels.
10. A time limit on the use.
11. Any other condition the Planning Commission or City Council deems necessary to protect the public interest.
12. Additional Conditions may be imposed on property located in a floodplain in accord with the Floodplain Ordinance.
13. Additional Conditions may be imposed on property covered by the Shore land Ordinance.
14. Additional Conditions may be imposed on feedlots in accord with other applicable ordinances including without limitation Stearns County=s Ordinances relating to feedlots.

CHANGES IN CONDITIONAL USES

Any change involving structural alteration, enlargement, intensification of use, or similar change not specifically permitted by the Conditional Use Permit issued shall require an amended Conditional Use Permit and all procedures shall apply as if a new permit were being issued. The Zoning Administrator will maintain a record of all Conditional Use Permits issued including information on the use, location, and conditions imposed by the City Council and time limits, review dates, and such other information as may be appropriate.

RECORDING CONDITIONAL USE PERMITS

A certified copy of any Conditional Use Permit shall be filed with the Stearns County Recorder. The Conditional Use Permits shall include the legal description of the property involved.

- ◆ Stearns County Recorder office charges a fee to record the legal document.
The Applicant is responsible for those fees.

REVOCAATION

In the event that the applicant violates any of the conditions set forth in this permit, the City Council shall have the authority to revoke a Conditional Use Permit.

TIME LIMITATION

A Conditional Use Permit may include an expiration date and the property owner will be responsible to submit the application for renewal of the permit. The City Council will review and approve all renewal applications, which must be submitted at least sixty (60) days before the expiration date. The criteria for renewal will be the same as for a new permit. The owner of the land will not be required to pay a fee for said review.

LAPSE/EXPIRATION

If within one (1) year after granting a Conditional Use Permit the use permitted has not been started, then the permit will become null and void unless the City Council has approved a petition for an extension. Conditional Use Permits expire if the authorized use ceases for any reason for more than six (6) months. Conditional Use Permits expire if the use is abandoned. A use is considered abandoned if the use is replaced by another use or discontinued for more than six (6) months.

COMPLIANCE

1. **Revocation.** The City Council may revoke a conditional use permit if it determines that the permit's terms and conditions are not being complied with.

2. **Procedure.** The Building Inspector, Zoning Administrator, any Council member or the Mayor may bring before the City Council notice of a potential violation involving the terms or conditions of a Conditional Use Permit which has been issued in the City. In such event the Building Inspector or Zoning Administrator shall investigate the violation and report back to the Council. If the Council determines that proceedings to consider revocation of the permit are warranted, the Council shall provide five (5) days written notice to the owner of the property, as shown on the property tax records for which the Conditional Use Permit has been issued, of the time and place at which the Council will consider the revocation. The property owner shall have an opportunity to be heard after which time the Council may take all appropriate actions including the revocation and termination of the Conditional Use Permit.

3. **Costs of Enforcement.** It shall be a term of any Conditional Use Permit issued by the City, whether or not specifically stated, that the property owner(s) shall pay all staff and reasonable attorney's fees associated with enforcement of the terms of the Conditional Use Permit.

INTERIM/CONDITIONAL USE PERMIT PROCESS:

1. Provide a complete application by the 1st Tuesday of the month to be on the following month's Planning Commission Agenda.

2. **Planning Commission** – (meets the 1st Tuesday of the month) The Planning Commission may schedule a site visit; hold the public hearing at their meeting and make a recommendation to the Council at the next City Council meeting.

3. **Council** - (meets 2nd Wednesday of month) Council makes the final decision – if Council grants the Interim/Conditional Use Permit.

4. Notice of Granting Interim/Conditional Use Permit Proceedings will be mailed to Stearns County Recorder and a copy will be mailed to applicant.

Applicant Signature

Date

I hereby certify that I have read the above information and I agree with the terms.

**CITY OF ROCKVILLE
 APPLICATION FOR INTERIM/CONDITIONAL USE PERMIT
 APPLICATION Fee: \$200 and RECORDING Fee: \$46.00 (per document)
 Need separate checks: 1 for Interim Use Permit & 1 for Recording Fee(s)**

Need a Copy of Deed

PLEASE NOTE: ANY COSTS (i.e. LEGAL, ENGINEERING, ADMINISTRATIVE, STEARNS COUNTY FEE, ETC) INCURRED OVER AND ABOVE THE APPLICATION FEE ARE THE RESPONSIBILITY OF THE PETITIONER

PROPERTY LOCATION/ADDRESS: 22807 Rausch Lake Road

LEGAL DESCRIPTION: Please see attached PARCEL #: 76.41638.0100 ZONING: A-40

EXPLANATION OF REQUEST: Verizon Wireless Telecommunications Tower

If replacing an existing structure, what will be done with the old structure? N/A

Has a variance request been made previously on this property? No If yes, when? _____

- Provide Individual property owner names/addresses within 350 feet or nearest 10 property owners, whichever is greatest.
- Applicant provides an aerial photo (The photo would depict vegetative cover on property and how it links with adjacent property).
- Applicant provides the distance to the nearest existing driveway.

PROPERTY OWNER:

Name (Print): Edward J. Zapp, as Trustee of the Edward J. Zapp Rev Trust

Address: c/o NTP Wireless, 125 S. Clark St., 17th FL, Chicago, IL 60603 Phone: 847-212-2778

Signature (required): _____ Date: _____

*Signature of property owner shall serve as acknowledgement and authorization of this request.

APPLICANT:

Name (Print): Verizon Wireless Phone: 847-212-2778

Address: c/o NTP Wireless, 125 S. Clark St., 17th FL, Chicago, IL 60603

Signature (required): _____ Date: 3/26/2019

(I hereby certify that I have read the above information and I agree with the terms)

OFFICE USE ONLY:

R# _____ Interim Use Permit Check#: _____ Date _____ 101.41000.34103 \$200.00
 Reimb. For Invoice Check # _____ Date _____ 101.41000-34102 \$46.00
 Permit # _____

CITY OF ROCKVILLE
APPLICATION FOR INTERIM/CONDITIONAL USE PERMIT
APPLICATION Fee: \$200 and RECORDING Fee: \$46.00 (per document)
Need separate checks: 1 for Interim Use Permit & 1 for Recording Fee(s)

Need a Copy of Deed

PLEASE NOTE: ANY COSTS (i.e. LEGAL, ENGINEERING, ADMINISTRATIVE, STEARNS COUNTY FEE, ETC) INCURRED OVER AND ABOVE THE APPLICATION FEE ARE THE RESPONSIBILITY OF THE PETITIONER

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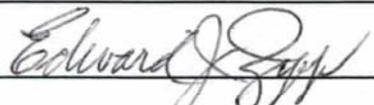
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Address: c/o NTP Wireless, 125 S. Clark St., 17th FL, Chicago, IL 60603 Phone: 847-212-2778

Signature (required):  Date: 3/31/19

*Signature of property owner shall serve as acknowledgement and authorization of this request.

APPLICANT:

Name (Print): Verizon Wireless Phone: 847-212-2778

Address: c/o NTP Wireless, 125 S. Clark St., 17th FL, Chicago, IL 60603

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R# _____ Interim Use Permit Check#: _____ Date _____ 101.41000.34103 \$200.00
Reimb. For Invoice Check # _____ Date _____ 101.41000-34102 \$46.00
Permit # _____

**CITY OF ROCKVILLE
APPLICATION FOR INTERIM/CONDITIONAL USE PERMIT**

Please use this for to explain how your request for a interim/conditional use permit meets the zoning requirements.

1. Not a burden on public facilities.

Verizon Wireless's facility will be unmanned, and provide a benefit rather than a burden to the community as it will provide enhanced E911 services in the vicinity of the facility as well as provide an immediate improvement to the customer experience of Verizon's network and critical infrastructure to future carriers seeking to improve service in the area.

2. Compatible with existing and planned adjacent uses.

Section 13(6)(2)(B) of the City's zoning ordinance allows for tower elevation up to 199 feet in elevation in AG-40 zoned parcels, 50 feet taller than in all other non-residential districts. In addition, there are no existing structures within 1/4 mile in any direction of the proposed facility.

3. No adverse affect on adjacent properties.

The proposed facility meets all City setback requirements and will have no impact on adjacent properties other than enhancing the mobile infrastructure of Verizon customers and enhancing the City's E911 services

4. Related to the needs of the City.

Per 13(1)(1) of the City's zoning ordinance, one goal of the City's ordinance drafting is to 'facilitate wireless telecommunications services to City residents and businesses'. The new infrastructure will help improve the wireless service of Verizon customers and any future telecommunications carriers.

5. Consistent with the Comprehensive Plan.

The City of Rockville's Comprehensive Plan states that population growth is expected to continue. Continued population growth leads to capacity strain on wireless networks. Verizon Wireless's proposed facility is intended to address the continued users to allow all customers residing and and traveling to the City of Rockville to have access to a robust wireless network

6. Not a traffic Hazard.

The proposed facility will assist in reducing traffic by allowing motorists to have access to wireless infrastructure that can assist in generating alternate paths to a desired destination based on real-time traffic conditions.

7. Adequate parking and loading.

The proposed facility will be unmanned.

8. Not detrimental to health, safety, and welfare.

Verizon Wireless complies with all FCC requirements as it relates to its wireless network. The proposed facility will help to enhance the general welfare by providing enhanced E911 for any emergency calls made in the vicinity of the new facility.

9. Flood plan.

The proposed facility is not located in a wetland or floodplain.

A conditional use permit cannot be granted unless evidence is presented that satisfies the conditions above. Failure to adequately provide such information may result in a denial of your request for a conditional use permit (attach additional sheets if necessary).

Staff Use Only:

Zoning Administrator reviewed Conditional Use Permit Application.

1. Referred to City Attorney and/or City Engineer: Date _____
Why: _____

2. Determination made and why: _____

() Complete Application

() Incomplete Application Why: _____

Applicant was notified for additional information: Date _____ in which the
information needs to be turned in by: ___ in person ___ by phone ___ email

Staff _____ Date _____

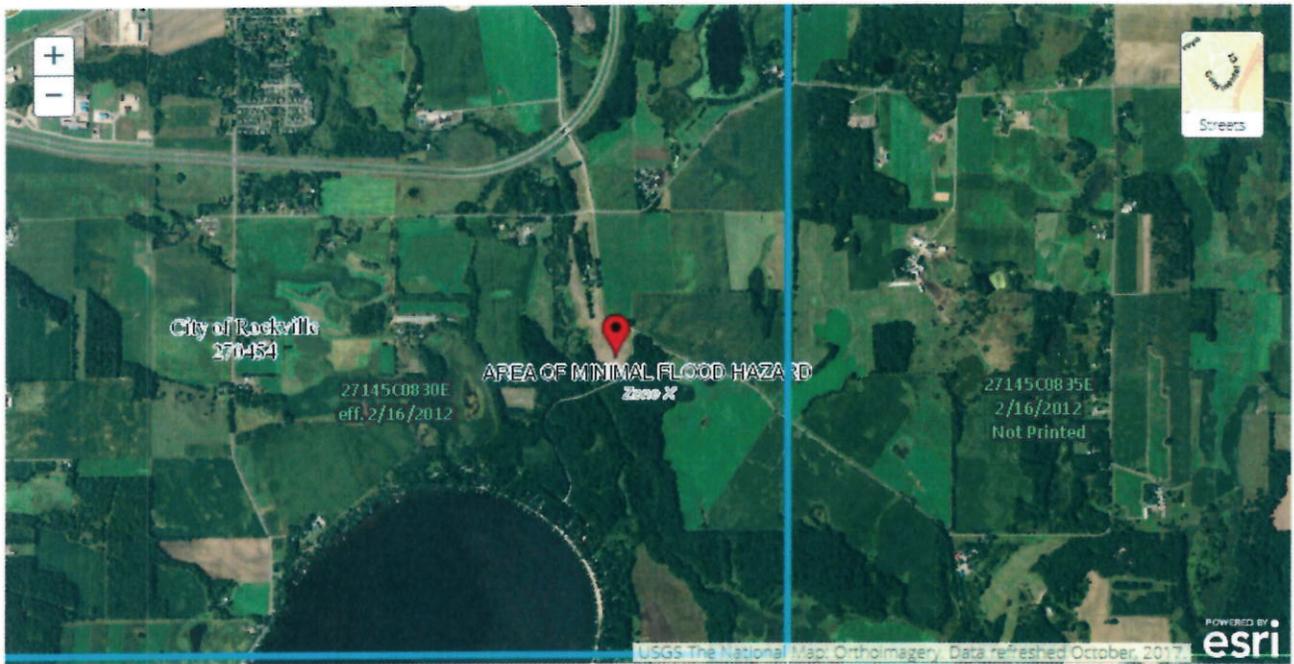
Aerial Photo



Aerial Map – 1 Mile Radius



Federal Emergency Management Agency Map



Nearest 10 Owners

PIN	Address	Owner	Owner Address
			10238 AHLES RD ST CLOUD MN 56301-9808
76.41640.0011	RAUSCH LAKE RD, ST CLOUD 56301-9734	PETER R WALZ	
76.41640.0100	Not provided in Stearns County	PIERRE T HANSEN TRUST	PO BOX 324 ROCKVILLE MN 56369 21785 AGATE BEACH RD, ST CLOUD MN
76.41639.0300	Not provided in Stearns County	EDWARD J ZAPP REV TRUST	56301-9736 PO BOX 324
76.41638.0200	Not provided in Stearns County 10649 230TH ST, ST CLOUD	PIERRE T HANSEN TRUST	ROCKVILLE MN 56369 10649 230TH ST
76.41638.0300	56301	CHRISTOPHER SEELEN	SAINT CLOUD MN 56301 9845 COUNTY ROAD 47
76.41627.0702	Not provided in Stearns County RAUSCH LAKE RD ST CLOUD	BRIAN G & MARY L FELDHEGE	ST CLOUD MN 56301-9739 21785 AGATE BEACH RD ST CLOUD MN 56301-9736
76.41627.0801	56301-9734	EDWARD J ZAPP REV TRUST	
76.41627.0900	Not provided in Stearns County 11053 230TH ST COLD SPRING	PETER R WALZ	10238 AHLES RD ST CLOUD MN 56301-9808 11053 230TH ST COLD SPRING MN 56320-9507
76.41638.0500	56320-9507	RAPHAEL & JEAN WALZ	
76.41638.0600	Not provided in Stearns County	RAPHAEL & JEAN WALZ	11053 230TH ST COLD SPRING MN 56320-9507



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2018-AGL-13572-OE

Issued Date: 08/01/2018

Network Regulatory
 Verizon Wireless (VAW) LLC
 5055 North Point Pkwy
 NP2NE Network Engineering
 Alpharetta, GA 30022

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower STC Grand Rock - B - 2593016
 Location: St. Cloud, MN
 Latitude: 45-27-03.22N NAD 83
 Longitude: 94-19-25.43W
 Heights: 1126 feet site elevation (SE)
 204 feet above ground level (AGL)
 1330 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 L Change 1, Obstruction Marking and Lighting, a med-dual system - Chapters 4,8(M-Dual),&12.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 02/01/2020 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611, or angelique.eersteling@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AGL-13572-OE.

Signature Control No: 369977704-371776582
Angelique Eersteling
Technician

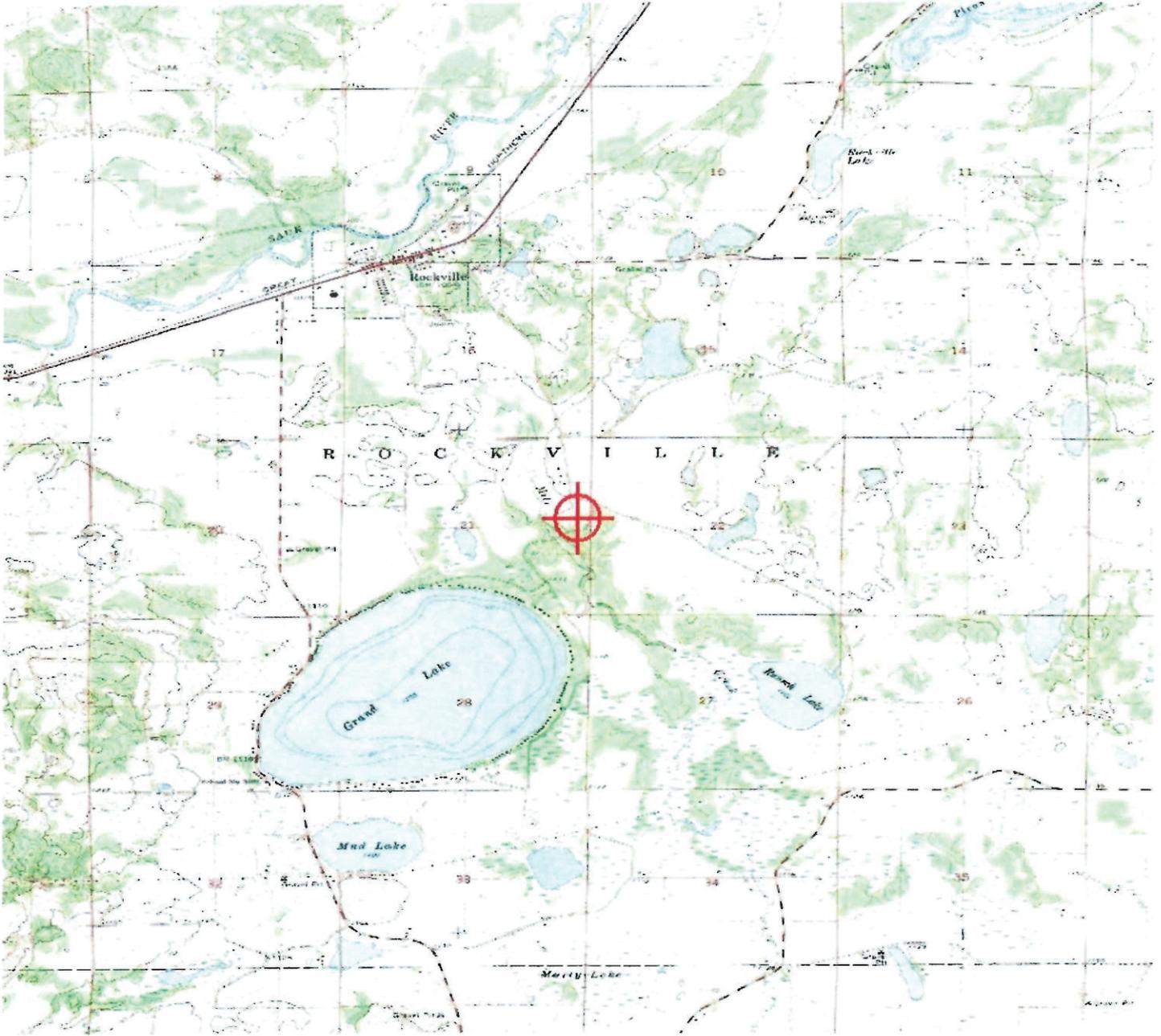
(DNE)

Attachment(s)
Frequency Data
Map(s)

cc: FCC

Frequency Data for ASN 2018-AGL-13572-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W



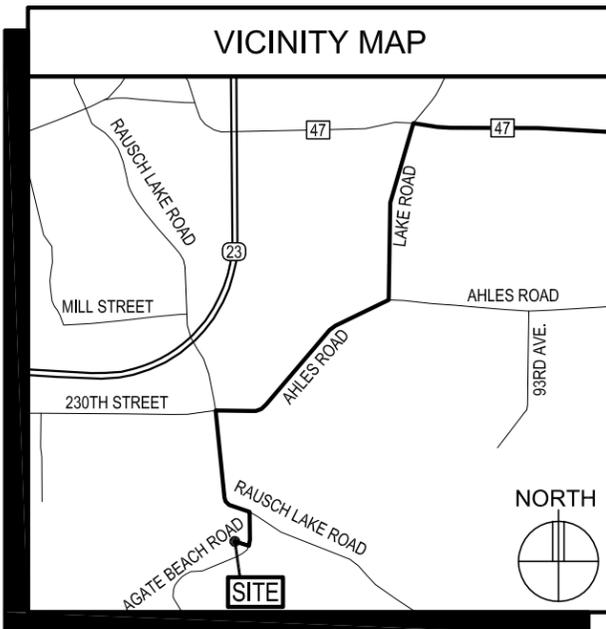


STC GRAND ROCK NEW BUILD

PROJECT INFORMATION

SITE NAME: STC GRAND ROCK
 SITE ADDRESS: AGATE BEACH ROAD
 ST. CLOUD, MN 56301
 COUNTY: STEARNS
 LATITUDE: N 45° 27' 03.22" (NAD83)
 LONGITUDE: W 94° 19' 25.43" (NAD83)
 DRAWING BASED ON
 SITE DATA FORM DATED: 11-28-17
 BUILDING TYPE: N/A
 SITE AREA: 100' X 100' = 10,000 S.F.

VICINITY MAP



SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION, & SHEET INDEX
A-1	SITE PLAN & DETAIL INDEX
A-2	GRADING PLAN
A-3	ENLARGED SITE PLAN
A-4	ANTENNA AND EQUIPMENT KEY, CABLE BRIDGE PLAN, NOTES, & PHOTO
A-5	OUTLINE SPECIFICATIONS
G-1	GROUNDING NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY

LOCATION SCAN



ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW 06-21-18	ALL
C	ISSUED FOR OWNER SIGNOFF 03-04-19	ALL

DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	MICHAEL KOCH	06-21-18
OPERATIONS MANAGER	RONALD SIMMONS	07-03-18
CONSTRUCTION ENGINEER	STEVE COLLIN	06-27-18

LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW

NO CHANGES. CHANGES NEEDED. SEE COMMENTS.

CONTACTS

LESSOR / LICENSOR: EDWARD ZAPP
 21785 AGATE BEACH ROAD
 ST. CLOUD, MN 56301
 (320) 252-3207

LESSEE: VERIZON WIRELESS
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 RON REITER (612) 720-0052

POWER UTILITY COMPANY CONTACT: STEARNS ELECTRIC ASSOCIATION
 900 EAST KRAFT DRIVE
 MELROSE, MN 56352
 KAREN HEINEN (320) 256-1627
 GERRY MARTHALER (320) 256-4241

TOWER STRUCTURAL ENGINEER: T.B.D.

ARCHITECT: DESIGN 1 ARCHITECTS LLC
 9973 VALLEY VIEW ROAD
 EDEN PRAIRIE, MN 55344
 (952) 903-9299

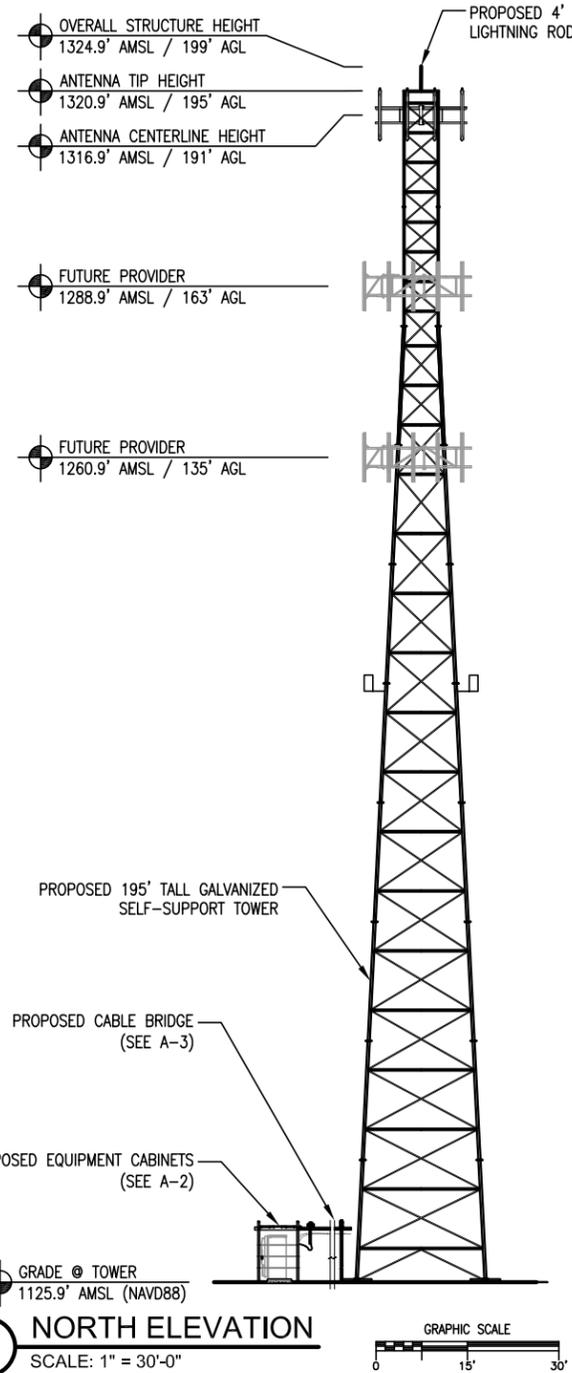
SURVEYOR: WIDSETH SMITH NOLTING
 610 FILLMORE STREET - PO BOX 1028
 ALEXANDRIA, MN 56308-1028
 320-762-8149

PROFESSIONAL ENGINEER: HERZOG ENGINEERING
 530 NORTH 3RD STREET SUITE 230
 MINNEAPOLIS, MN 55401
 JOSH HERZOG, PE (612) 844-1234

GEOTECHNICAL ENGINEER: TERRACON CONSULTANTS, INC.
 13400 15TH AVENUE
 PLYMOUTH, MN 55441
 DANIEL B MARHT, PE (763) 489-3100

TOWER ELEVATION

NOTE:
 1.) TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND ARCHITECTURAL DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE ARCHITECT IMMEDIATELY.
 2.) TOWER FOUNDATION, EQUIPMENT CABINET SLAB, GENERATOR FOUNDATION, AND THE ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE ARCHITECT.
 3.) CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.
 4.) TOWER ENGINEERING, TOWER FOUNDATION ENGINEERING, AND ANTENNA MOUNT ENGINEERING BY OTHERS. STRUCTURAL ENGINEERING AND DESIGN FOR THE ABOVE STATED ITEMS TO BE SIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER IN THE STATE OF THE PROJECT.



HERZOG ENGINEERING LLC
 530 North 3rd Street, Suite 230
 Minneapolis, MN 55401
 (612) 844 - 1234

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Print Name: Joshua Herzog
 Signature: *[Signature]*
 Date: 3-5-19 License # 42392

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA, ROBERT J. DAVIS, Reg. No. 12427
 Signed: *[Signature]*
 Date: 03/04/19

DESIGN 1
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

verizon
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (612) 720-0052

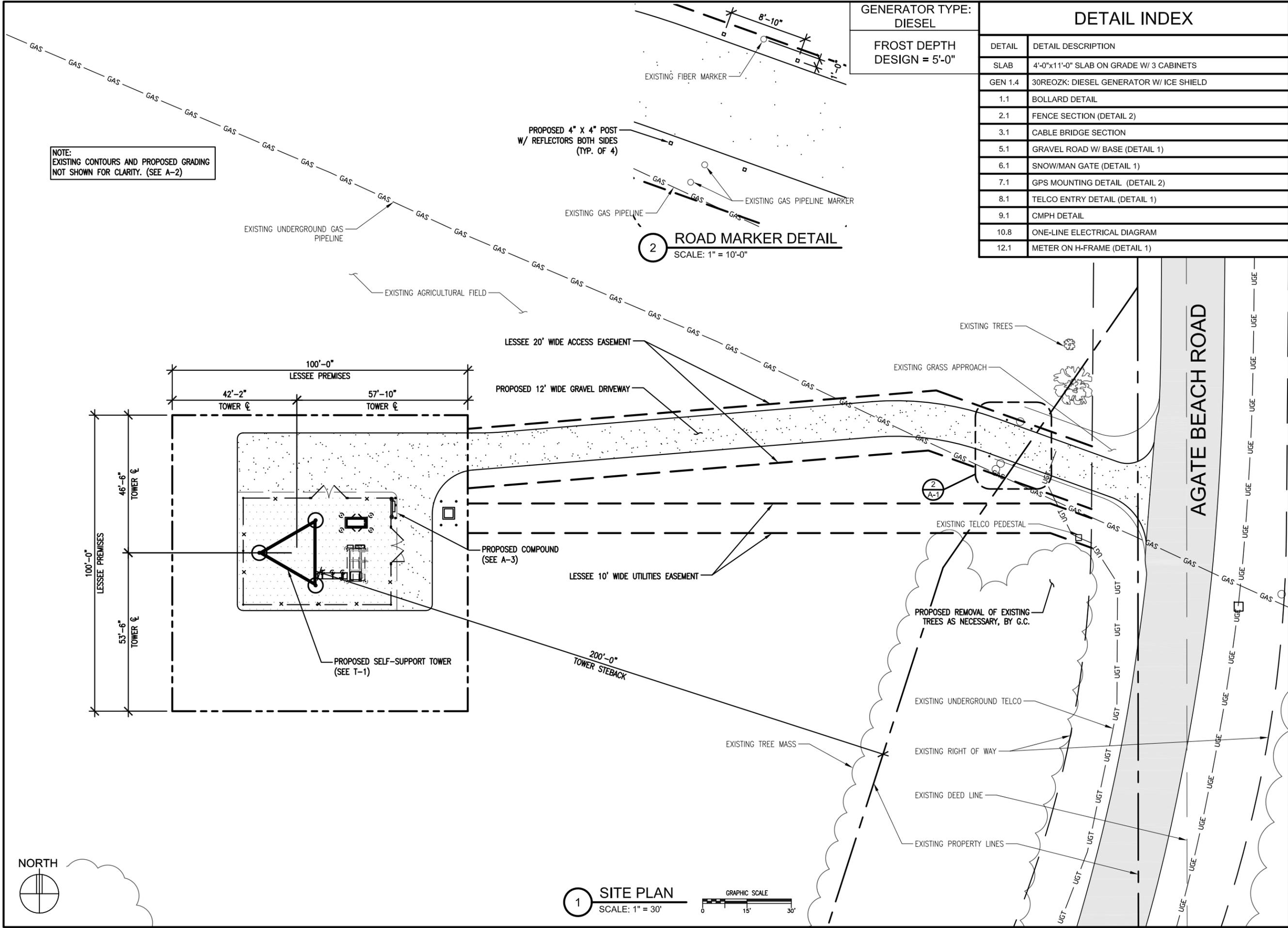
PROJECT
 20141066659
 LOC. CODE: 297333

STC
 GRAND ROCK

AGATE BEACH ROAD
 ST. CLOUD, MN 56301

SHEET CONTENTS:
 CONTACTS
 ISSUE SUMMARY
 SHEET INDEX
 DEPARTMENTAL APPROVALS
 LESSOR APPROVAL
 PROJECT INFORMATION
 VICINITY MAP
 TOWER ELEVATION

DRAWN BY: MSG
 DATE: 12-06-17
 CHECKED BY: TRB
 REV. A 06-21-18
 REV. B 12-04-18
 REV. C 03-04-19



NOTE:
EXISTING CONTOURS AND PROPOSED GRADING
NOT SHOWN FOR CLARITY. (SEE A-2)

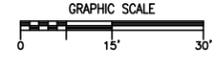
GENERATOR TYPE:
DIESEL

FROST DEPTH
DESIGN = 5'-0"

DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	4'-0"x11'-0" SLAB ON GRADE W/ 3 CABINETS
GEN 1.4	30REOZK: DIESEL GENERATOR W/ ICE SHIELD
1.1	BOLLARD DETAIL
2.1	FENCE SECTION (DETAIL 2)
3.1	CABLE BRIDGE SECTION
5.1	GRAVEL ROAD W/ BASE (DETAIL 1)
6.1	SNOW/MAN GATE (DETAIL 1)
7.1	GPS MOUNTING DETAIL (DETAIL 2)
8.1	TELCO ENTRY DETAIL (DETAIL 1)
9.1	CMPH DETAIL
10.8	ONE-LINE ELECTRICAL DIAGRAM
12.1	METER ON H-FRAME (DETAIL 1)

2 ROAD MARKER DETAIL
SCALE: 1" = 10'-0"

1 SITE PLAN
SCALE: 1" = 30'



HERZOG ENGINEERING LLC
530 North 3rd Street, Suite 230
Minneapolis, MN 55401
(612) 844 - 1234

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Joshua Herzog
Signature: *[Signature]*
Date: 3-5-19 License # 42392

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Signed: *[Signature]*
Date: 03/04/19

DESIGN 1

9973 VALLEY VIEW RD.
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(952) 903-9299
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verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
20141066659
LOC. CODE: 297333

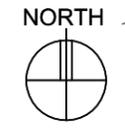
STC GRAND ROCK

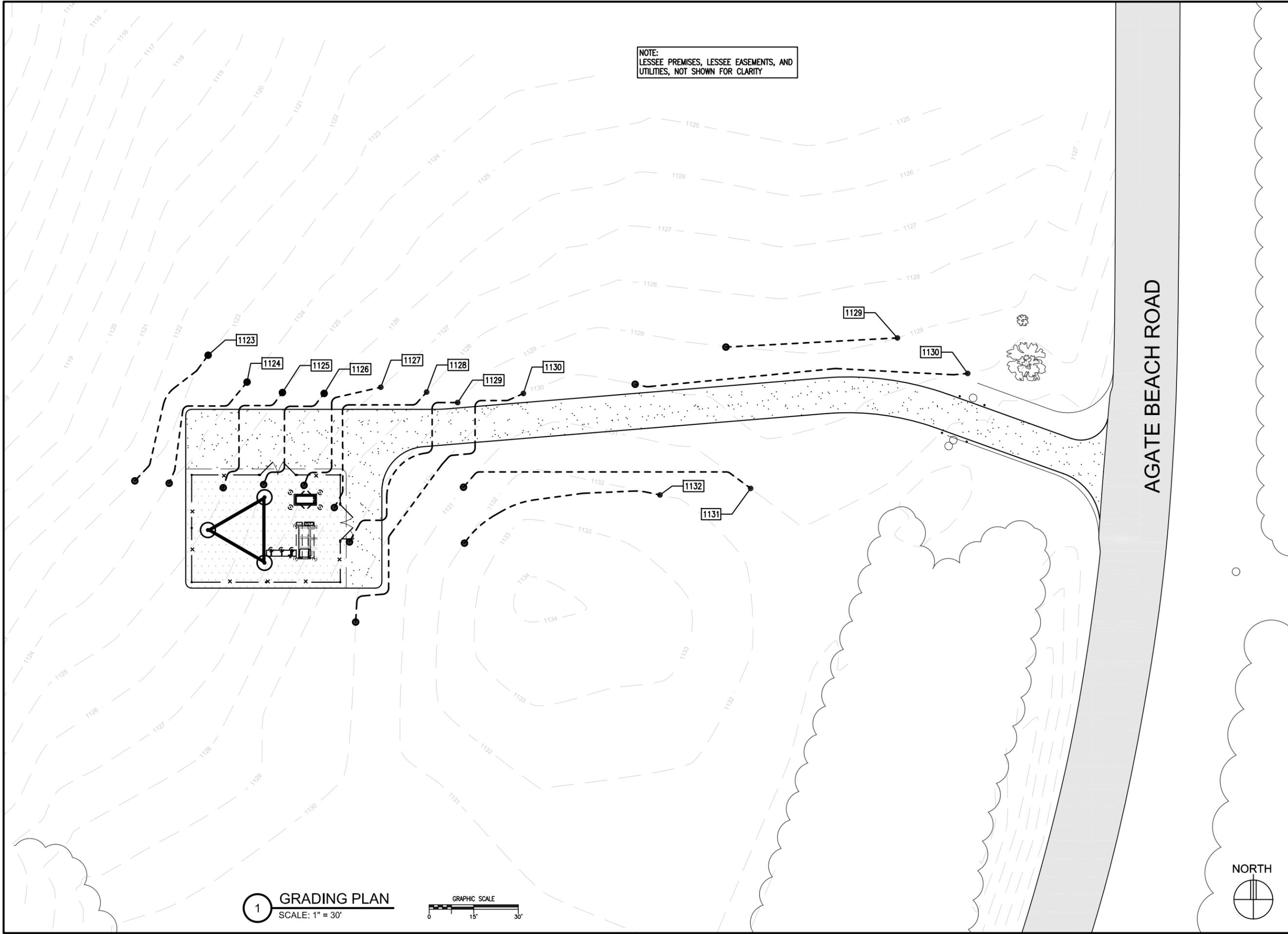
AGATE BEACH ROAD
ST. CLOUD, MN 56301

SHEET CONTENTS:
SITE PLAN
DETAIL INDEX

DRAWN BY:	MSG
DATE:	12-06-17
CHECKED BY:	TRB
REV. A	06-21-18
REV. B	12-04-18
REV. C	03-04-19

A-1





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20141066659
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STC
GRAND ROCK

AGATE BEACH ROAD
ST. CLOUD, MN 56301

SHEET CONTENTS:
GRADING PLAN

DRAWN BY:	MSG
DATE:	12-06-17
CHECKED BY:	TRB
REV. A	06-21-18
REV. B	12-04-18
REV. C	03-04-19

A-2



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Date:

DESIGN

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ST. CLOUD, MN 56301

SHEET CONTENTS:
ENLARGED SITE PLAN

DRAWN BY: MSG

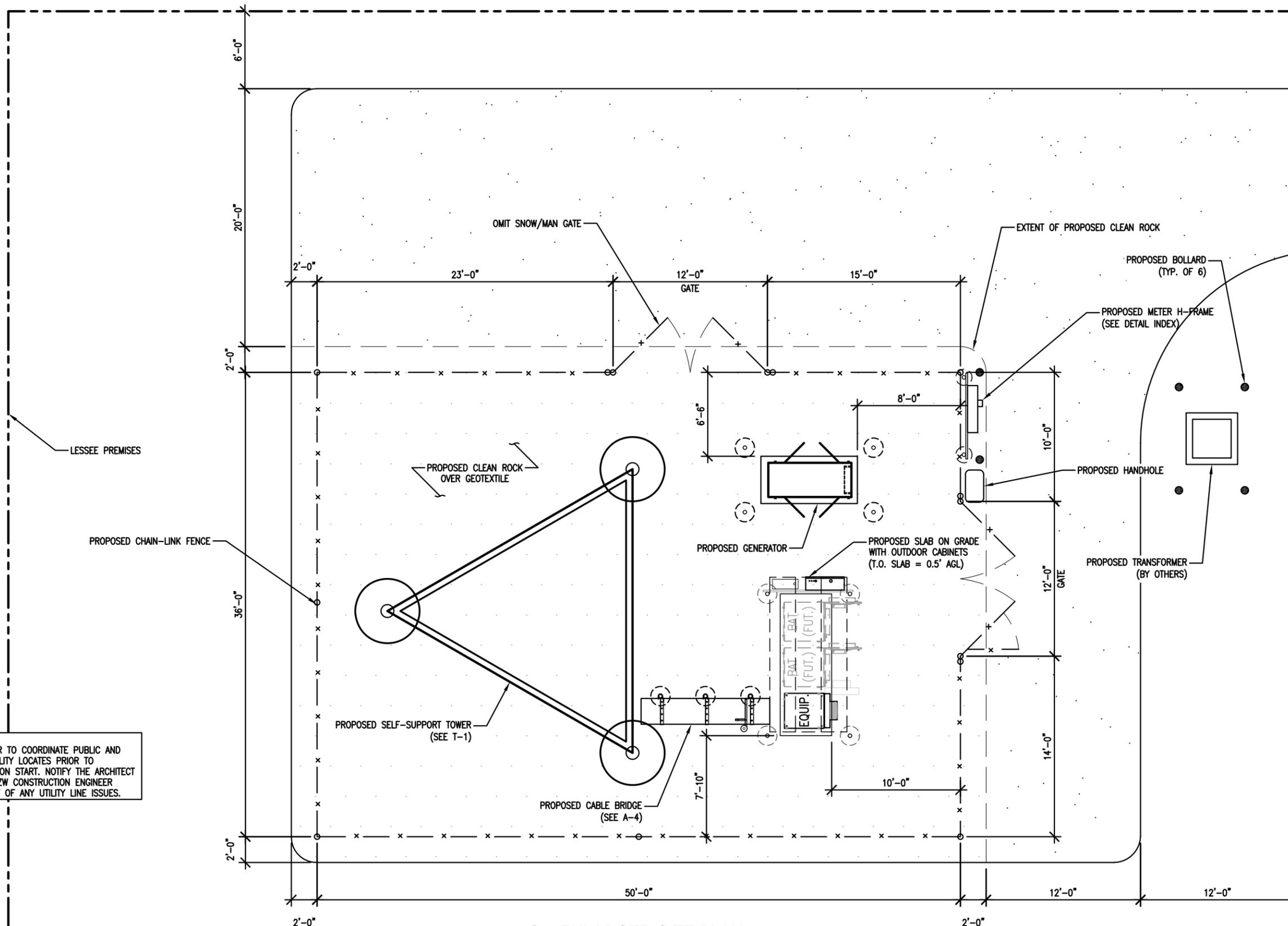
DATE: 12-06-17

CHECKED BY: TRB

REV. A 06-21-18

REV. B 12-04-18

REV. C 03-04-19



NOTE:
CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION START. NOTIFY THE ARCHITECT AND THE VZW CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.

1 ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"



A-3

ANTENNA KEY												
	AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC DOWNTILT	MECH DOWNTILT
"X" SECTOR	310°	2.1	TX/RX1	1	COMMSCOPE	NHH-65C-R2B	700/850 +45	96"	195'	191'	2'	0'
	-	2.2	TX/RX3	-	-	2ND PORT	700/850 -45	-	-	-	-	-
	-	2.3	FUTURE	-	-	3RD PORT	AWS +45	-	-	-	1'	-
	-	2.4	FUTURE	-	-	4TH PORT	AWS -45	-	-	-	-	-
	-	2.5	FUTURE	-	-	5TH PORT	AWS +45	-	-	-	1'	-
	-	2.6	FUTURE	-	-	6TH PORT	AWS -45	-	-	-	-	-
"Y" SECTOR	90°	2.1	TX/RX1	1	COMMSCOPE	NHH-65C-R2B	700/850 +45	96"	195'	191'	2'	0'
	-	2.2	TX/RX3	-	-	2ND PORT	700/850 -45	-	-	-	-	-
	-	2.3	FUTURE	-	-	3RD PORT	AWS +45	-	-	-	1'	-
	-	2.4	FUTURE	-	-	4TH PORT	AWS -45	-	-	-	-	-
	-	2.5	FUTURE	-	-	5TH PORT	AWS +45	-	-	-	1'	-
	-	2.6	FUTURE	-	-	6TH PORT	AWS -45	-	-	-	-	-
"Z" SECTOR	220°	2.1	TX/RX1	1	COMMSCOPE	NHH-65C-R2B	700/850 +45	96"	195'	191'	2'	0'
	-	2.2	TX/RX3	-	-	2ND PORT	700/850 -45	-	-	-	-	-
	-	2.3	FUTURE	-	-	3RD PORT	AWS +45	-	-	-	1'	-
	-	2.4	FUTURE	-	-	4TH PORT	AWS -45	-	-	-	-	-
	-	2.5	FUTURE	-	-	5TH PORT	AWS +45	-	-	-	1'	-
	-	2.6	FUTURE	-	-	6TH PORT	AWS -45	-	-	-	-	-

EQUIPMENT KEY			
QTY	MANUFACTURER	MODEL	RRU PORT
1	ERICSSON	4449	1
1	ERICSSON	4449	1
-	ERICSSON	4449	4
-	ERICSSON	4449	4
1	ERICSSON	4449	1
1	ERICSSON	4449	1
-	ERICSSON	4449	4
-	ERICSSON	4449	4
1	ERICSSON	4449	1
1	ERICSSON	4449	1
-	ERICSSON	4449	4
-	ERICSSON	4449	4

ADDITIONAL:
 (2) RAYCAP DISTRIBUTION BOXES, MODEL RVZDC-6627-PF-48: (ON TOWER)
 (2) RAYCAP DISTRIBUTION BOXES, MODEL RVZDC-4520-RM-48: (IN CABINETS)
 (3) COMMSCOPE HYBRID CABLE, MODEL HFT1206-24SV2-220 (DIST. BOX IN CABINETS TO DIST BOX ON TOWER)
 (6) COMMSCOPE HYBRID JUMPER, MODEL HFT4122S29-15 (DIST. BOX TO RRU)
 (12) COMMSCOPE COAX JUMPER, MODEL LDF4-50A, 1/2"Ø FOAM DIELECTRIC, 10' EACH (RRU TO ANTENNA)
 (24) PORT TERMINATORS 1-2W 50Ω (FOR ALL PORTS LABELED FUTURE)

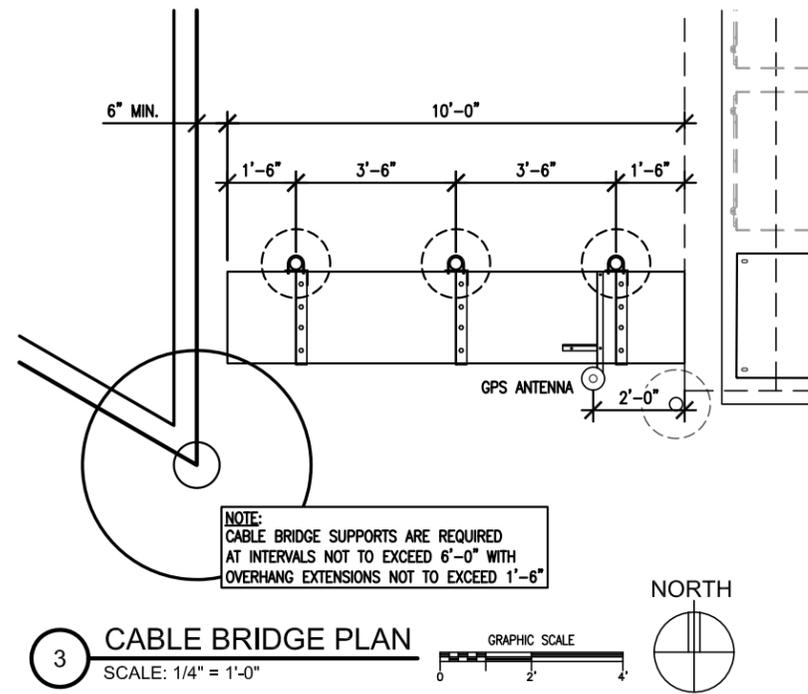
CABLE BRIDGE = 10'
 RAD CENTER = 191'
 CANOPY = 14'
 TOTAL = 215'

1 ANTENNA KEY



5 PHOTO - PROPOSED APPROACH
 VIEW: LOOKING EAST

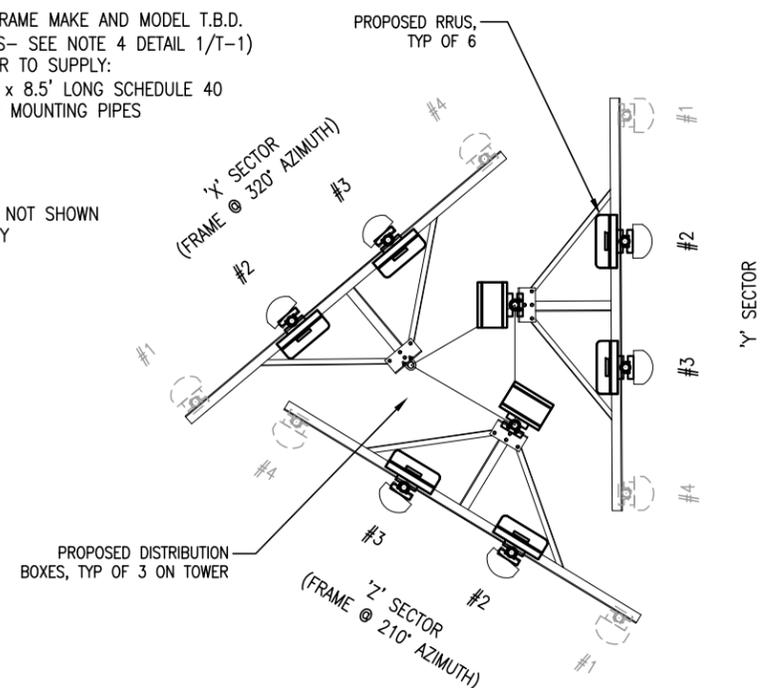
2 EQUIPMENT KEY



3 CABLE BRIDGE PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
 ANTENNA FRAME MAKE AND MODEL T.B.D.
 (BY OTHERS- SEE NOTE 4 DETAIL 1/T-1)
 CONTRACTOR TO SUPPLY:
 (12) 2.5"Ø x 8.5' LONG SCHEDULE 40 GALVANIZED MOUNTING PIPES

NOTE:
 TIE-BACKS NOT SHOWN FOR CLARITY



4 ANTENNA MOUNTING DETAIL
 SCALE: 3/16" = 1'-0"

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 Signature: *[Signature]*
 Date: 3-5-19 License # 42392

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Signed: *[Signature]*
 Date: 03/04/19

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verizon
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 (612) 720-0052

PROJECT
 20141066659
 LOC. CODE: 297333

STC
 GRAND ROCK

AGATE BEACH ROAD
 ST. CLOUD, MN 56301

SHEET CONTENTS:
 EQUIPMENT & ANTENNA KEY
 CABLE BRIDGE PLAN
 ANTENNA MOUNTING DETAIL
 PHOTO

DRAWN BY: MSG
 DATE: 12-06-17
 CHECKED BY: TRB
 REV. A 06-21-18
 REV. B 12-04-18
 REV. C 03-04-19

GENERAL CONDITIONS

00 0001 PERMITS

Construction Permit shall be acquired by, or in the name of, Verizon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be acquired by the Contractor.

00 0002 SURVEY FEES

Survey shall be furnished by the Architect. Layout Staking shall be coordinated with the Surveyor per "Request For Quote", (RFQ).

01 0010 INSURANCE & BONDS

Contractor is to furnish Insurance certificates for themselves and subcontractors. Contractor will provide any required Bonding. Contractor agrees to warranty the project for (1) one year after completion.

01 0400 SUPERVISION & COORDINATION

Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner-furnished items. Contractor's responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA.

01 0600 TESTING

Contractor is responsible for providing Agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

01 2000 MEETINGS

Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Architect. Contractor is to attend a Pre-Construction Meeting of all parties involved, prior to the start of construction.

01 5100 TEMPORARY UTILITIES

Contractor shall maintain the job site in a clean and orderly fashion, providing temporary sanitary facilities, waste disposal, and security (fence area or trailer module).

01 5300 EQUIPMENT RENTAL

Contractor shall furnish equipment necessary to expedite work.

01 5900 FIELD OFFICES & SHEDS

Contractor shall provide security (fence area or trailer module) for tools and materials that remain overnight on site.

01 7000 CLEAN UP & CLOSE OUT

Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner's Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, on which changes shall be noted in red ink. A full set of redlined drawings (As-Builts) are to be given to the Architect at Job completion and submit "construction work complete memo" to Construction Engineer.

01 8000 TRUCKS & MILEAGE

Contractor shall provide transportation for their own personnel.

01 8300 TRAVEL TIME & PER DIEM

Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site.

01 9200 TAXES

Contractor shall pay sales and/or use tax on materials and taxable services.

SITWORK

02 1000 SITE PREPARATION

Contractor is to mobilize within 7 calendar days of the Owner issuing a 'START' document. Contractor will immediately report to Architect if any environmental considerations arise. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and scrapings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ.

Existing trees shall be removed as indicated in the drawings. Tree removal shall include trunk, branches, leaves, stumps, roots & vegetative matter. All wood, debris & vegetative matter is to be completely disposed of & stump voids are to be backfilled & compacted with adequate soils.

02 1100 ROAD IMPROVEMENT & CONSTRUCTION

Contractor shall furnish materials for, and install, a twelve foot (12') wide gravel driveway from the road access to the work area, for truck and crane access to site. Base course shall be 6" deep, 3"+ crushed rock, topped with 3" deep, 1 1/2" crushed rock, topped with 3" deep MN Class 5 Aggregate, (3/4" minus with binder) or Driveway Mix. Contractor shall furnish & install culverts as necessary to prevent ponding or washing-out from normal surface runoff. Contractor shall obtain city, county, state and/or federal approvals for road approach and culvert work within or adjacent to right-of ways. Road shall be graded smooth, and edges dressed, at job completion.

02 2000 EARTHWORK & EXCAVATION

Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For dewatering excavated areas, contractor shall utilize sock or sediment filter for filtering of water discharge.

02 5000 PAVING & SURFACING

Gravel paving shall be as described in 02 1100.

02 7800 POWER TO SITE

Contractor shall coordinate the electrical service to the building with the Utility Provider. Conduits shall include pull strings. Underground conduits shall be 2-1/2" Schedule 40 PVC. (schedule 80 PVC under roads and drives) Cable to be 3/0 THWN CU. Trenches shall be backfilled in a timely fashion, using a compactor, and including two (2) detectable ribbons; one each at 3" and 15" above conduit. Service shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time-Of-Day" if available, and meter base shall be approved by utility provider.

Contractor to provide and install Carlon expansion joint connections at equipment cabinet location per manufacturer's specifications and recommendations.

02 7900 TELCO TO SITE

Contractor shall provide 2" SDR-11 HDPE conduit for fiber conduit as noted on Drawings when directional boring is utilized. Contractor shall provide 2" schedule 40 PVC conduit and 2" schedule 80 PVC conduit under roadways with large-sweep elbows for fiber conduit as noted on Drawings when hand trenched. Trenches shall be as in 02 7800.

Contractor to provide and install handholes as noted in the Drawings. Additional handholes shall be provided and installed a maximum of 500 feet on center; at 90° bends if directional boring; and every third bend if hand trenched. Handholes size per Drawings and traffic-rated in roadways.

Contractor to provide and install Carlon expansion joint connections at equipment cabinet location per manufacturer's specifications and recommendations.

02 8000 SITE IMPROVEMENTS

Areas bounded by fence and adjacent to Equipment Cabinet Slab shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep 3/4" to 1 1/2" clean rock (no fines), and raked smooth.

02 8001 FENCING

All fence materials and fittings shall be galvanized steel. Fence shall be 6'-0" high x 9 ga. X 2" chain link fabric, w/ 7 ga. bottom tension wire. Corner and Gate posts shall be 2 7/8" O.D. sch 40 steel pipe, driven to frost depth plus 1' below grade. Line posts shall be 2 3/8" O.D. sch 40 steel pipe. Top Rails shall be 1 5/8" O.D. steel pipe. Gate frames shall be 1 5/8" O.D. welded pipe. Fence top shall be three (3) strands barbed wire to 7'-0" above grade, canted outward. Bracing shall be 3/8" truss rods and 1 5/8" O.D. pipe mid-rails at corners. Gate latch shall be commercial grade, "Cargo" or equal. Fabric shall extend to within 1" of finish grade. Fence enclosures shall be completed within 7 days of tower erecting and Contractor shall provide for temporary security fence at base of Tower.

02 8500 IRRIGATION SYSTEMS

N/A

02 9000 LANDSCAPING

Contractor shall protect existing landscape elements that are not in the Scope of Work. Reasonable precautions shall be taken to assure the health of existing trees and shrubbery. If conflicts arise regarding the location of root systems, branch lines, etc., the Architect must be contacted prior to performing Work that may cause damage. Damage resulting from disregard of this Article shall be compensated by the Responsible Party and at a cost to be determined by the Property Owner, Architect, and Owner.

CONCRETE

03 1000 CONCRETE FORMWORK

Concrete forms shall be dimensional lumber, modular, or steel.

03 8000 TOWER FOUNDATION

Contractor shall arrange for delivery of anchors, and shall furnish and install materials per Tower Manufacturer Plans. Tower foundation concrete and reinforcing to be per tower manufacturer's specification. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

03 8001 CATHODIC PROTECTION

N/A

03 9000 EQUIPMENT CABINET SLAB/GENERATOR FOUNDATION

Contractor shall furnish & install materials for Equipment Cabinet Slab/Generator foundation. Concrete shall be 6% ±1% air entrained, and 4,000 psi at 28 days. All reinforcing steel is to be Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

MASONRY

N/A

METALS

05 0000 METALS

Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner-furnished materials. Fabrication and erection of steel items per AISC standards. Welding shall conform to AWS standards. Fabrications shall be shop welded and galvanized before delivery to site unless noted otherwise.

Steel shapes shall meet ASTM A36 and steel pipe ASTM A53 Grade B. Steel shapes and fabrications shall be hot-dip galvanized per ASTM A123 with minimum coating thickness Grade 55 (2.2 mil). Bolts shall meet ASTM F3125 and U-bolts SAE J429 Grade 5 minimum. Bolts and hardware to be hot-dip galvanized per ASTM A153. Field repair of galvanized coatings shall be per ASTM A780.

WOOD & PLASTICS

N/A

THERMAL & MOISTURE

N/A

DOORS AND HARDWARE

N/A

FINISHES

N/A

SPECIAL CONSTRUCTION

13 1260 CABLE BRIDGE, & ICE SHIELDS

Contractor shall furnish & install materials for the Cable Bridge as indicated on the drawings and Verizon Wireless Standard Details.

Contractor shall furnish & install materials for the Generator, & Equipment Ice Shields as indicated on the Drawings & Verizon Wireless Standard Details.

13 1400 ANTENNA INSTALL

Contractor shall install Owner's antennas and feed lines during erecting. Contractor shall test and certify feed lines per current VZW standards.

13 3423 TRANSPORT AND SET EQUIPMENT CABINETS/GENERATOR

Contractor shall provide crane(s) and/or truck for transporting, setting and erecting Equipment Cabinets/Generator per RFQ. Contractor shall install items shipped loose with the Equipment Cabinets/Generator.

13 3613 TRANSPORT AND ERECT TOWER/ANTENNA MOUNTS

Contractor shall schedule delivery of Owner-furnished Tower, and provide cranes for unloading and erecting. Contractor to install antenna mounts. Contractor shall ensure the existence of a 3/8" cable safety climb (DBI/Salo or equal) on the Tower.

MECHANICAL

15 4000 PLUMBING

N/A

15 5000 HVAC

N/A

ELECTRIC

16 5000 LIGHTING AND ELECTRICAL

Contractor shall provide labor and materials as necessary to complete the work shown on Drawings including items shipped loose with the Equipment Cabinet/Generator assembly.

Contractor shall provide labor and materials as necessary to complete the installation of any tower lighting system described in the RFQ.

16 6000 GROUNDING

Contractor shall make themselves familiar with and follow the current GROUNDING STANDARDS OF VERIZON WIRELESS. Contractor shall perform work as shown on Grounding Plans. Any site-specific grounding issues not covered by the GROUNDING STANDARD are to be addressed by the Contractor to the Owner.

OWNER-FURNISHED EQUIPMENT & FEES

- EQUIPMENT CABINETS
- GENERATOR
- SELF-SUPPORT TOWER
- ANTENNA T-FRAMES
- TOWER LIGHTING
- COAX AND/OR CABLES
- ANTENNAS & DOWNTILT BRACKETS
- GPS & GPS MOUNTING
- BUILDING PERMIT FEES
- MATERIALS TESTING FEES
- SPECIAL INSPECTIONS FEES

CONTRACTOR-FURNISHED EQUIPMENT

- POWER TO SITE
- TELCO TO SITE
- CABLE BRIDGE MATERIALS & ICE SHIELDS
- GROUNDING MATERIALS
- FENCING
- CONNECTORS, BOOTS, & RELATED HARDWARE

SCOPE OF WORK:

CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED ON THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

- SITE PREPARATION
- GRADING
- SITE WORK & DRIVEWAY CONSTRUCTION
- EQUIPMENT CABINET SLAB, GENERATOR, & TOWER FOUNDATIONS
- SET EQUIPMENT CABINETS, SET GENERATOR, & ERECT TOWER
- ROUTING OF GROUND, POWER, FIBER & ALARM
- SITE GROUNDING
- ELECTRICAL & TELEPHONE SERVICES
- INSTALL ANTENNAS & CABLES
- CABLE BRIDGE & ICE SHIELDS
- GRAVEL SURFACING & FENCING
- TOWER LIGHTING IF PER RFQ

Contractor to compare drawings against Owner's "Request for Quote", (RFQ). If discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings.



HERZOG
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(612) 844 - 1234

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Print Name: Joshua Herzog

Signature: 

Date: 3-5-19 License # 42392

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Signed: _____

03/04/19 _____

Date: _____



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SHEET CONTENTS:
OUTLINE SPECIFICATIONS

DRAWN BY:	MSG
DATE:	12-06-17
CHECKED BY:	TRB
REV. A	06-21-18
REV. B	12-04-18
REV. C	03-04-19

A-5

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment cabinet and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment cabinets, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8"Ø, spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry: If boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be used to be bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (T&B 54B56BE "BROWN"), self-threading (RECOGNIZED, EM 2522DH.75.312), or 10,000psi crimping (BURNDY YA3C 2TC 14E2). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from tower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC 'jumpers'. Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- * The Main Ground Bar (MGB), typically mounted adjacent to ILC.
- * The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port. Note: Transmission line grounds also attach to the PGBs.
- * The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

"Whip" leads shall connect the buried external ground ring to the following items:

Monopole Towers:

- * Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

Self-Support Towers:

- * Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Guyed Towers:

- * Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
- * Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
- * #2 SBTC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

Fences:

Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:

- * Each corner post.
- * Each pair of gate posts.
- * Any line post over 20'-0" from a grounded post.
- * Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
- * Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Cabinets and Other General Requirements (including but not limited to):

- Extend new Lead 21B up to shelter halo, remaking two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- Opposite corners of the steel equipment platform.
- Opposite corners of the roof shield over the equipment shelter.
- Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- Each HVAC package unit.
- Commercial electric meter box.
- Generator receptacle, if present.
- Steel building skid, if shelter is metal frame.
- Each air intake or exhaust fan vent louver.
- Each generator vent hood or louver.
- Generator exhaust stack, external.
- Opposite corners of generator support frame, if separate from shelter.
- Generator fuel tank, if separate from generator unit.
- Host building rain gutter, downspouts, and roof flashings within 25 feet.
- Telco MPOP (Main Point of Presence), if external to equipment shelter.
- Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

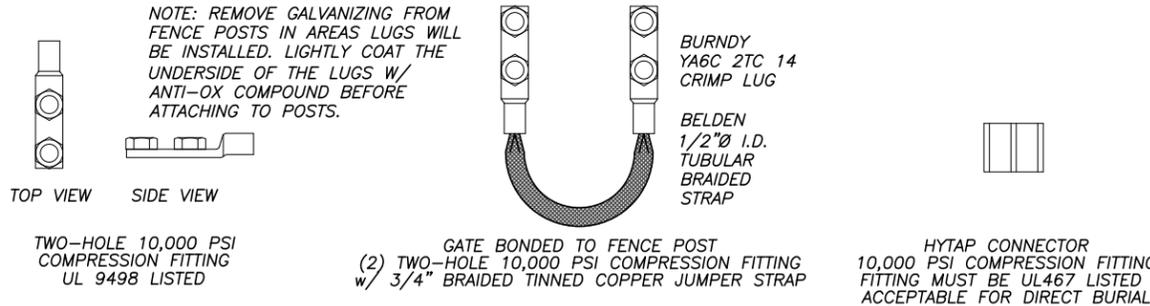
Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

SYMBOL AND NOTE LEGEND

①	#2 SBTC AROUND EQUIPMENT CABINETS, TOWER, OR GUY ANCHOR
●	5/8" X 10'-0" GALVANIZED STEEL GROUND ROD
⊙	TEST WELL PREFERRED LOCATION
----	#2 SBTC 'WHIP' LEAD
⑤	(2) #2 SBTC FROM MGB, PGB, OR TGB TO LEAD 1
⑥	AC HVAC UNIT
②1B	BC BUILDING CORNER
⑥	BO BOLLARD
⑥	CBS CABLE BRIDGE SUPPORT POST
④	EL ELECTRICAL SERVICE GROUND
④	EM COMMERCIAL ELECTRICAL METER
⑥	FAN GUY ANCHOR PLATE
⑥	FP FENCE POST
⑨0	GEN GENERATOR
⊕	GP GATE POST, 3/4" BRAID STRAP TO LEAF
⑥	GPS GPS UNIT
⑥	GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
⑥	HL HOOD OR LOUVER
⑥	HB OUTSIDE OF HOFFMAN BOX
⑥	ILC INTEGRATED LOAD CENTER
⑤	MGB MAIN GROUND BAR
⑥	MU GENERATOR MUFFLER
⑤	PGB PORT GROUND BAR
⑥	RBR FOUNDATION REINFORCING
⑥	RS ROOF SHIELD
⑥	SB STEEL BEAM
⑥	SP STEEL POST
⑥	STP STEEL PLATFORM
⑥	TEL HOFFMAN BOX
⑤	TGB TOWER GROUND BAR
⑥	TWR TOWER BASE
⑥	VP DIESEL FUEL VENT PIPE

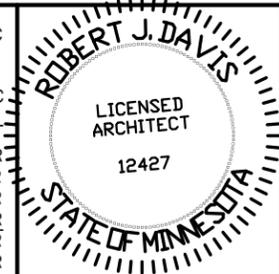
Note:

Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.



LEAD IDENTIFICATION & DESCRIPTION:

1	RING, EXTERNAL BURIED w/ RODS	#2 SBTC
1A	RING, CONCRETE ENCASED	#2 SBTC
2	DEEP ANODE (TO IMPROVE OHMS)	ROD OR PIPE
3	RING TO BLDG STL FRAME	#2 SBTC
4	MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1	NEC 250.66
5	RING TO GROUND BAR	(2) #2 SBTC
6	RING TO EXT MTL OBJECT	#2 SBTC
7	DEEP ANODE TO MGB	NSTD33-9
8	AC PANEL TO WATER METER	NEC 250.66
9	EXT WATER TO INT WATER PIPES	NSTD33-9
10	INT WATER PIPE TO MGB	NSTD33-9
11-12	NOT USED	
13	AC PANEL TO MGB	NSTD33-9
14	MGB/FGB TO BLDG STL FRAME	#2/0 I-STR
14C	MGB/FGB TO ROOF/WALL MTL PNL	#1/0 I-STR
15	MGB/FGB TO FGB-HE SAME FLOOR	#2/0 I-STR
16	NOT USED	
16A	ECPG TO CABLE ENTRY RACK	#1/0 I-STR
17	MGB TO CABLE SHIELDING	#6 I-STR
17A	ECPG TO CABLE SHIELDING	#6 I-STR
17B	MGB/FGB TO F-0 SPLICE SHELF	#1 I-STR
18	LOWEST MGB/FGB TO HIGHEST FGB	#2/0 I-STR
19	LEAD 18 TO OTHER FGBs, <6'	#2/0 I-STR
20	MGB/FGB TO BRANCH AC PNL	#6 I-STR
20A	NEAREST GRND TO DISCONNECT PNL	NEC 250.66
20B	GWB TO AC DISTR PNL	#6 I-STR
21	MGB/FGB TO INT HALO	#2 I-STR
21A	INTERIOR 'GREEN' HALO	#2 I-STR
21B	INT HALO TO EXT RING	#2 SBTC
21C	INT HALO TO EQUIPMENT MTL	#6 I-STR
22	ROOF TOWER RING TO ROOF GRND	NFPA 780
23	MGB/FGB TO ECPGB, SAME FLOOR	#1 I-STR
23A	MGB/FGB TO CXR-HF LINR PROT	#6 I-STR
24	ECPG TO EACH PROTECTOR ASSEMBLY	#6 I-STR
24A	LOWER PROT ASSY TO UPPER	#6 I-STR
25	RING TO NEAREST LIGHTNING ROD	#2 SBTC
26	LGHTNG ROD SYS TO NEARBY MTL	NFPA 780
27	RING TO TOWER RING	(2) #2 SBTC
28	RING TO SHELTER RING	(2) #2 SBTC
29	BRANCH AC PNL TO BITTY CHG FRM	NSTD33-11
30	BRANCH AC PNL TO OUTLETS	NSTD33-11
31	MGB/FGB TO PWR, BITTY FRAMES	#2/0 I-STR
32	#31 TO BATTERY CHARGER FRAME	#6 I-STR
33	#31 TO BATTERY RACK FRAME	#6 I-STR
34	#31 TO PCU FRAME	#6 I-STR
35	#31 TO DSU FRAME	#6 I-STR
36	#31 TO PDU FRAME	#6 I-STR
37	MGB/FGB TO BITTY RETURN	NSTD33-14.5
37A	MGB/FGB TO RTN TERM CARR SUPP	#6 I-STR
38	FGB TO PDU GB	#750MCM I-STR
38A	FGB TO PDU GB CARRIER SUPPLY	#2/0 I-STR
39	DC BUS DUCT TO NEXT SECTION	#6 I-STR
40	DC BUS DUCT TO MGB/FGB	#6 I-STR
41A	MGB/FGB TO #58	#2/0 I-STR
42-44	NOT USED	
45	MAIN AC PNL TO BRANCH AC PNL	NSTD33-11
46	BRANCH AC PNL TO DED OUTLET	NSTD33-11
47	FGB TO INTEG FRM	#2 I-STR
48	LEAD #31 TO INTEG FRM	#6 I-STR
49	INTEG FRM TO EQUIP SHELF	BY FASTENERS
50	PDU BITTY RET TO #51	#2/0 I-STR
51	#50 TO TRANS FRM ISO DC PWR	#6 I-STR
52	TRANS FRM FUSE TO FRM OR BAR	#8 I-STR
53A	MGB/FGB TO PDF/BDFB	NSTD33-22
54	MGB/FGB TO STATIC DEVICES	#6 I-STR
55	MGB/FGB TO CABLE AT ENTRY	#6 I-STR
56	MGB/FGB TO AC PWR RADIO XMTR	#6 I-STR
57A	MGB/FGB TO CBL GRID/RUNWAY	#2/0 I-STR
58A	#41A TO AISLE FRAME	#2 I-STR
59A	#58A TO EACH SGL FRAME GRND	#6 I-STR
60-89	NOT USED	
90	GENERATOR FRAME TO EXT RING	#2 SBTC



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
 Date: 03/04/19

DESIGN
 9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM

verizon
 10801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (612) 720-0052

PROJECT
 20141066659
 LOC. CODE: 297333

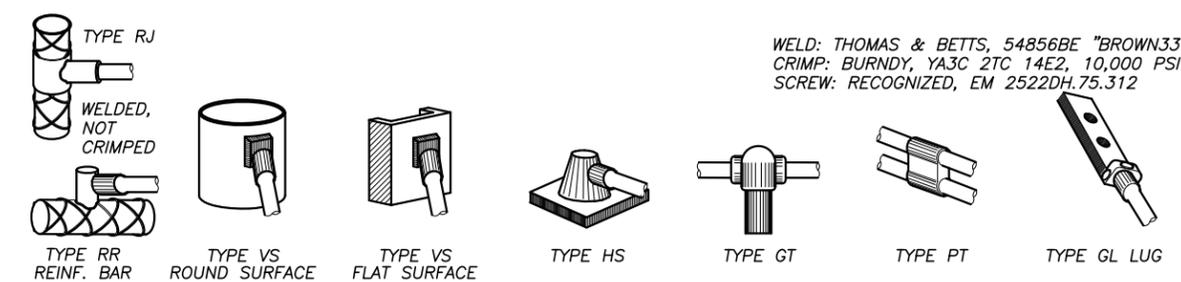
STC
GRAND ROCK

AGATE BEACH ROAD
 ST. CLOUD, MN 56301

SHEET CONTENTS:
 GROUNDING NOTES

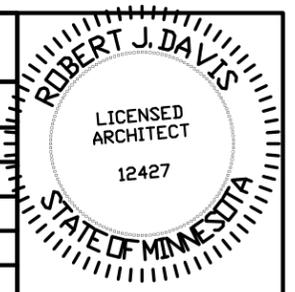
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REV. C	03-04-19

EXOTHERMIC WELD DETAILS
 SCALE: NTS



GROUNDING DETAIL INDEX

DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE GROUNDING
11.1	TEST WELL DETAIL, GROUND RING & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL



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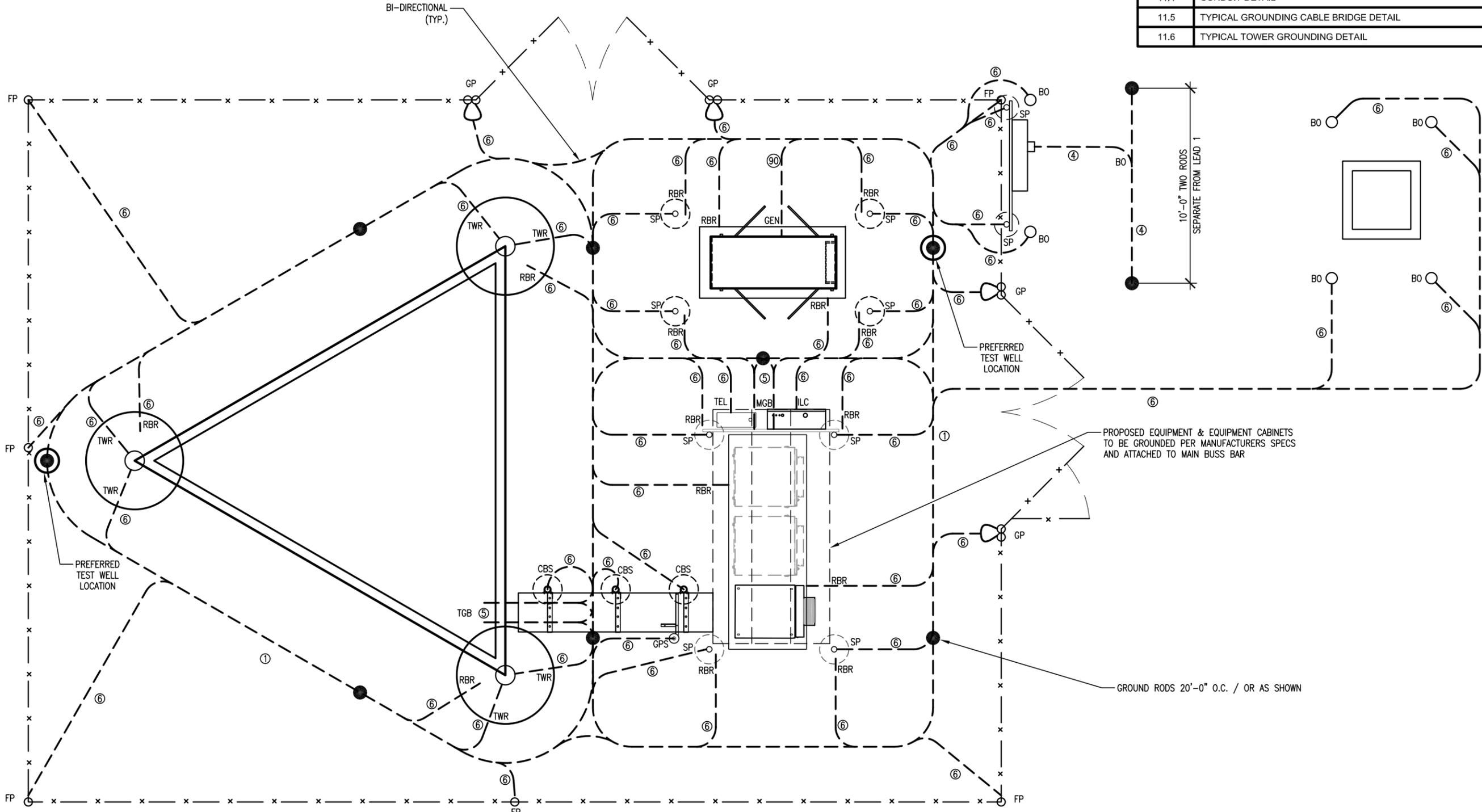
STC
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 ST. CLOUD, MN 56301

SHEET CONTENTS:
 GROUNDING PLAN
 GROUNDING DETAIL INDEX

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REV. B	12-04-18
REV. C	03-04-19

G-2

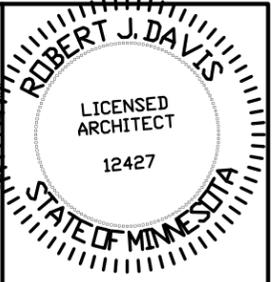


NOTE:
 CONTRACTOR SHALL ENSURE THAT EACH WHIP IS ROUTED TO LEAD 1 BY THE SHORTEST PATH, AND BENDS SHALL NOT BE LESS THAN 12" RADIUS

1 GROUNDING PLAN
 SCALE: NTS



POWER TYPE:
120/240V, SINGLE
PHASE, 200 AMPS



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 03/04/19

DESIGN1

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verizon

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BLOOMINGTON, MN 55438
(612) 720-0052

PROJECT
2014106659
LOC. CODE: 297333

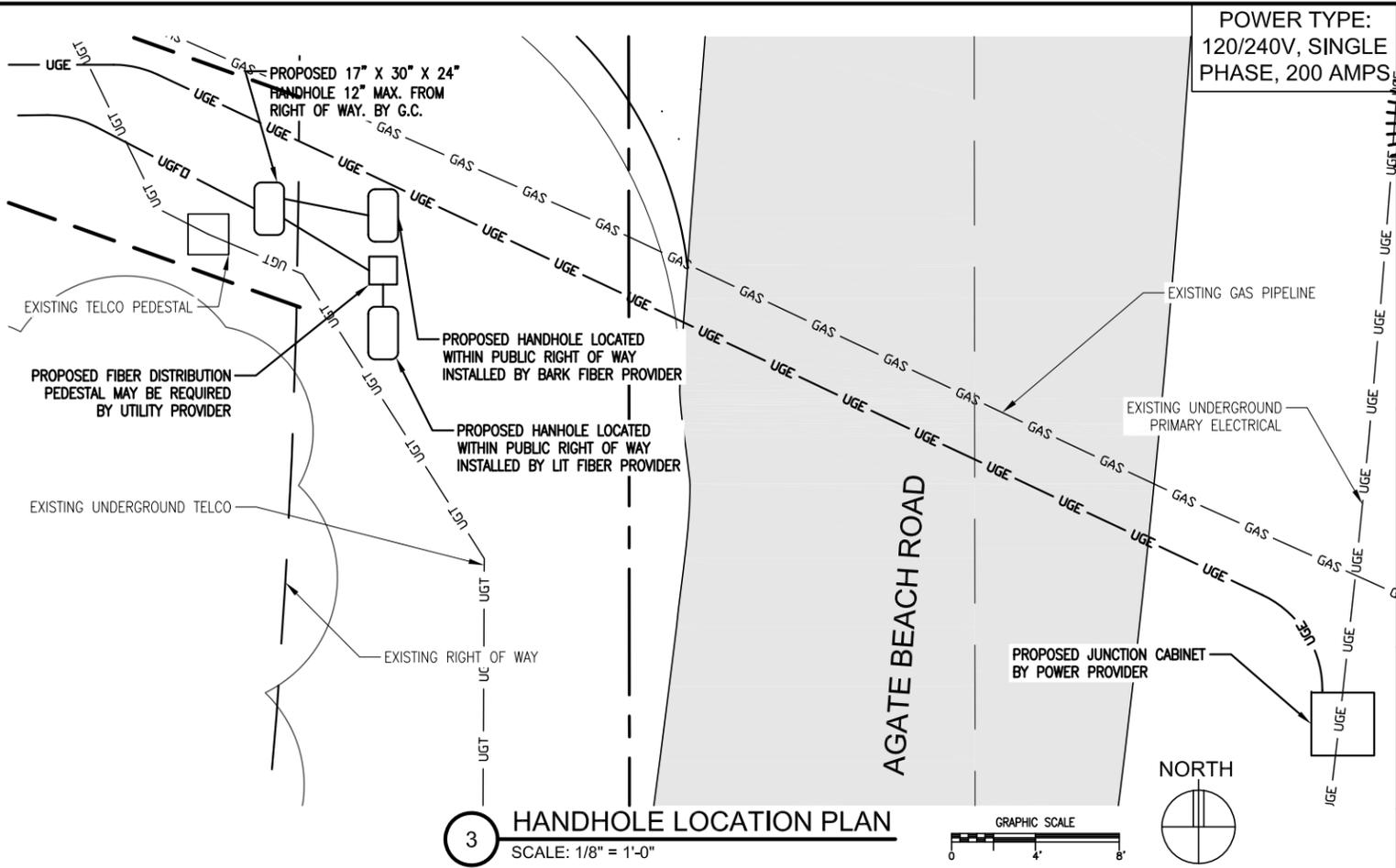
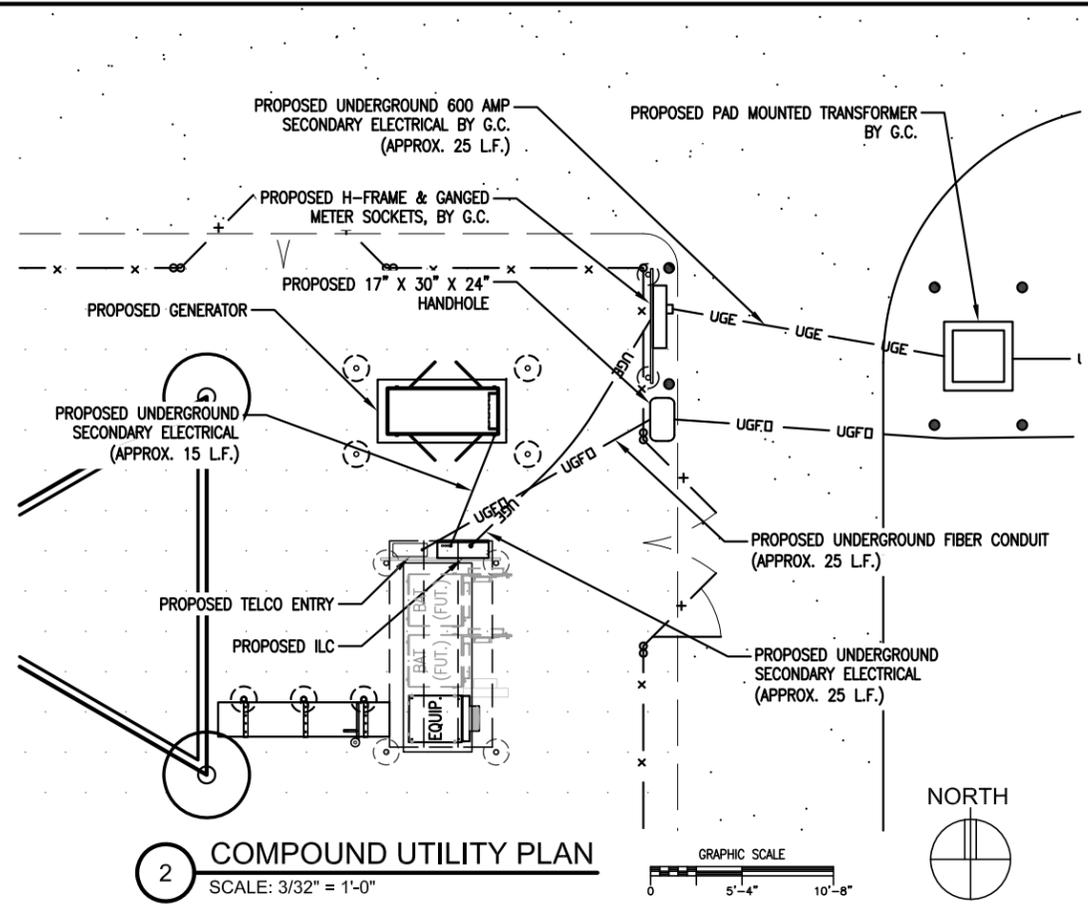
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GRAND ROCK

AGATE BEACH ROAD
ST. CLOUD, MN 56301

SHEET CONTENTS:
SITE UTILITY PLAN
COMPOUND UTILITY PLAN
HANDHOLE LOCATION PLAN

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REV. B	12-04-18
REV. C	03-04-19

U-1

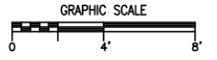
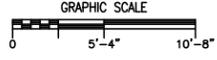
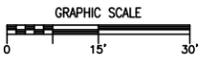
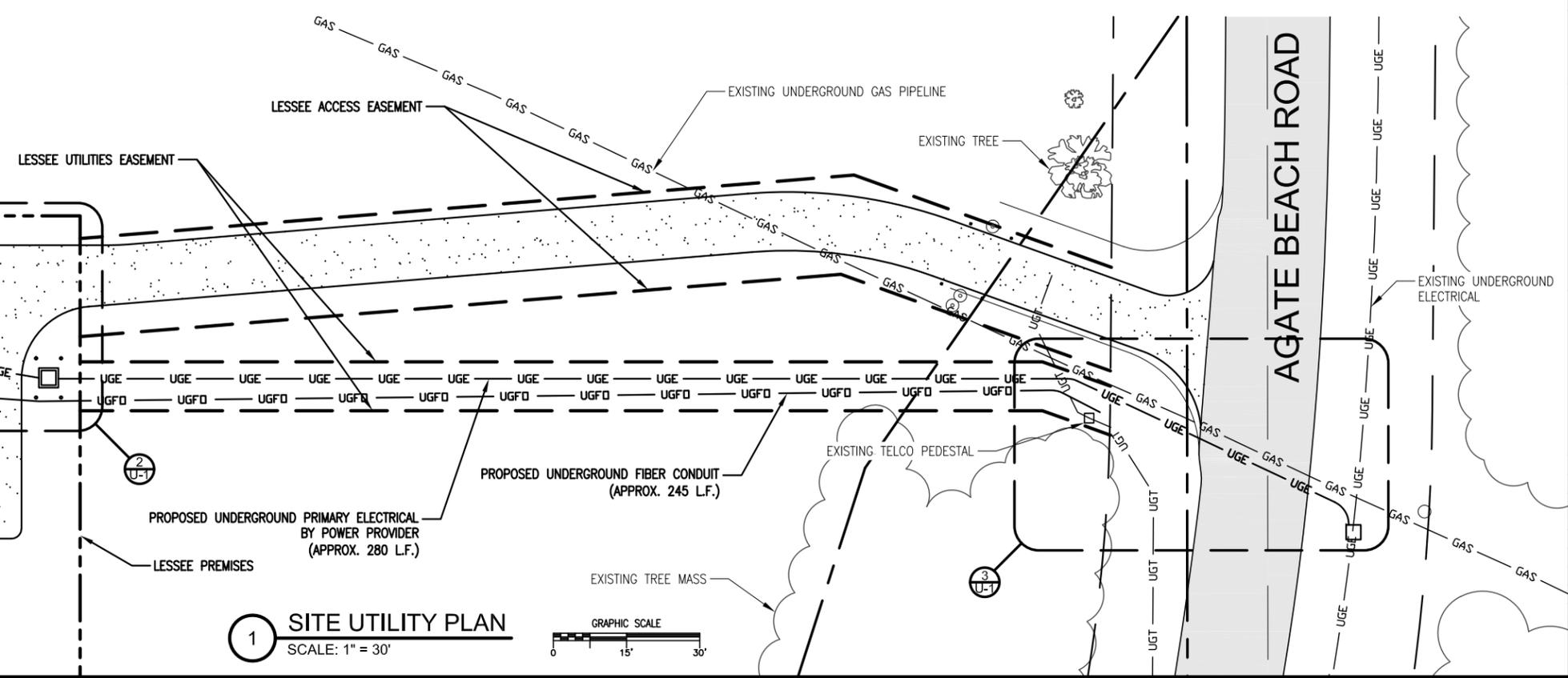


NOTE:

- CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION START. NOTIFY THE ARCHITECT AND THE VZV CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.

CONDUIT NOTES:

- PRIMARY ELECTRICAL - SPECIFICATION AND INSTALLATION BY POWER UTILITY PROVIDER. POST INSTALLATION RESTORATION BY CONTRACTOR.
- SECONDARY ELECTRICAL - INSTALL CONDUIT 32" BELOW GRADE WITH TWO DETECTABLE RIBBONS.
- FIBER OPTIC - INSTALL CONDUIT 42" BELOW GRADE WITH PULL STRING, TRACEABLE WIRE, AND TWO DETECTABLE RIBBONS.



SITE SURVEY

PROPERTY DESCRIPTION: (per U.S. Title Solutions File No. 61263–MN1808–5020, effective date September 14, 2018.)

TRACT B

That part of the Southeast Quarter of the Southeast Quarter (SE1/4 SE1/4) of Section 16, and that part of the East Half of the Northeast Quarter (E1/2 NE1/4) of Section 21, all of Township 123, Range 29, Stearns County, Minnesota, described as follows:

Commencing at the east quarter corner of said Section 21; thence South 89 degrees 10 minutes 09 seconds West, assumed bearing along the south line of said E1/2 NE1/4 for 132.00 feet (8 rods) to the point of beginning; thence North 17 degrees 51 minutes 00 seconds East for 214.50 feet (13 rods) to a point 66.00 feet (4 rods) west of the east line of said E1/2 NE1/4; thence North 34 degrees 49 minutes 05 seconds East for 115.40 feet to a point on the east line of said E1/2 NE1/4 distant 297.00 feet (18 rods) northerly of the east quarter corner of said Section 21; thence North 00 degrees 04 minutes 01 seconds West, along the east line of said E1/2 NE1/4 for 440.65 feet to the point of intersection with the centerline of Rousch Lake Road as is currently constructed and traveled on this day, May 13, 2010; thence northwesterly 129.18 feet along the last described centerline being a non-tangential curve concave to the southwest, radius 902.71 feet, central angle 08 degrees 11 minutes 56 seconds, having a chord bearing of North 71 degrees 40 minutes 10 seconds West and chord distance of 129.07 feet; thence North 75 degrees 46 minutes 08 seconds West, along the last described centerline and tangent to the last described curve for 212.40 feet; thence northwesterly 258.28 feet along the last described centerline being tangential curve concave to the northeast, radius 210.00 feet, central angle 70 degrees 28 minutes 03 seconds; thence North 05 degrees 18 minutes 05 seconds West, tangent to the last described curve and along the last described centerline for 665.93 feet; thence North 6 degrees 04 minutes 24 seconds West, along the last described centerline for 637.08 feet; thence northerly 357.65 feet along the last described centerline being tangential curve concave to the west, radius 5144.28 feet, central angle 03 degrees 59 minutes 00 seconds to the point of intersection with the centerline of 230th Street as is currently constructed and traveled on this day, May 13, 2010; thence westerly 157.99 feet along said centerline of 230th Street being a non-tangential curve concave to the south, radius 1213.78 feet, central angle 07 degrees 27 minutes 29 seconds, having a chord bearing of South 84 degrees 43 minutes 35 seconds West and a chord distance of 157.88 feet; thence South 80 degrees 59 minutes 51 seconds West, tangent to the last described curve and along said centerline of 230th Street for 427.86 feet; thence westerly along said centerline of 230th Street for 74.62 feet being a tangential curve concave to the north, radius 670.39 feet, central angle 06 degrees 22 minutes 40 seconds, to the point of intersection with the west line of said E1/2 NE1/4; thence South 00 degrees 13 minutes 22 seconds East along the last described west line for 2595.23 feet to the southwest corner of said E1/2 NE1/4; thence North 89 degrees 10 minutes 09 seconds East, along the south line of said E1/2 NE1/4 for 1177.87 feet to the point of beginning.

Containing 55.84 acres, more or less.

SCHEDULE "B" EXHIBITS: (per U.S. Title Solutions File No. 61263–MN1808–5020, effective date September 14, 2018.)

1–7.) Not related to the survey.

8.) Easement by Edward J. Zapp, Mary Anne Geving and Dale W. Geving to Rockville Township, dated 6/14/1994 recorded 7/11/1994 in Instrument No: 778689.

This Document describes a 66' wide Easement over Gov't Lots 3 and 4 in the SE1/4 of Section 21. The property described above is in the E1/2 of the NE1/4. This Easement does not affect the surveyed area and is not shown on the survey.

9.) Easement by Donald H. Philipsek and Augusta Corynne Philipsek to U S West Communications, Inc., a Colorado corporation, dated 4/10/1996 recorded 5/15/1996 in Instrument No: 819594.

This Document describes a 20' by 20' U.S. West Cabinet Easement in the SE1/4 of the SE1/4 of Section 16. Said Easement does not affect the surveyed area and is not shown on the survey.

10–15.) Not related to the survey.

16.) Plat of Minnesota Department of transportation Right of Way Plat No. 73–47 recorded 7/25/2000 in Instrument No. 943289.

This MnDot Right of Way Plat is located in Section 16 and does not affect the surveyed area and is not shown on the survey.

17–22.) Not related to the survey.

ACCESS PARCEL PROPERTY DESCRIPTION: (per U.S. Title Solutions File No. 62206–MN1811–5020, effective date December 3, 2018.)

That part of the Northeast Quarter (NE 1/4) of Section Twenty–one (21), Township One Hundred twenty–three (123), Range Twenty–nine (29), described as follows, to-wit: Beginning at the Southeast corner of said Northeast Quarter (NE 1/4); thence running West along the quarter Line of said Section 8 rods; thence in a Northeasterly direction 13 rods to a point 4 rods West of the East line of said Section Twenty–one (21); thence in a Northeasterly direction to a point on the East line of said Section 18 rods North of the place of beginning; thence South along the East line of said Section 18 rods to the place of beginning; that part of Section Twenty–two (22), in Township One Hundred Twenty–three (123), Range Twenty–nine(29), described as follows, to-wit: Commencing on the West line of said Section 1 rod South of the East–West Quarter line; thence North along said section line to the intersection of the same with the public highway as travelled on April 13, 1903; thence due East for 1 rods; thence South and parallel with said Section line to a point one rod East of the point of beginning; thence West 1 rod to the point of beginning, being a strip of land one rod wide, and containing 1/4 acre, more or less; The North One–half (1/2) Southeast Quarter (SE 1/4) and Government Lot Three (3) and Four (4) in Section Twenty–one (21), Township One Hundred Twenty–three (123), Range Twenty–nine (29), excepting therefrom 7 following described tracts, to-wit:

(1) That Part of said Government Lot 3 described as follows: Commencing Meander corner on the North shore of Grand Lake, and between Government Lots Two and Three (2 and 3) of said Section; thence running South 75 degrees 5 minutes East 468 feet thence South 62 degrees 40 minutes East 719 feet to the place of beginning; from said place of beginning North Thirty–five (35) degrees East 244.6 feet to a wooden stake; thence South 55 degrees East 287 feet to a wooden stake; thence South 35 degrees West to the shore of Grand Lake; thence along the shore of said lake to a point South 35 degrees West from the place of beginning; and thence North 35 degrees East to the place of beginning, containing 1.6 acres, more or less; being the land conveyed in Book 118 of Deeds, page 389;

(2) That part of said Government Lots Three and Four (3 and 4), described as follows, to-wit: Commencing at the intersection of the meander line on the North shore of Grand Lake and the line between said Government lots Two and Three (2 and 3) of said Section Twenty–one (21); thence South 74 degrees 13 minutes East a distance of 1523.93 feet to a wooden stake; said last named point being the point of beginning of the tract to be described; thence South 55 degrees East a distance of 125 feet to a wooden stake; thence South 35 degrees West a distance of 367 feet to the shore of Grand Lake; thence Northwesterly (NW) along the shore of Grand Lake to a point South 35 degrees West and distant 367 feet more or less from the point of beginning; thence North 35 degrees East a distance of 367 feet more or less to the point of beginning, and containing 1.05 acres, more or less, said tract being contiguous to the tract described in paragraph one hereinbefore excepted, and having a common Northeasterly line; as conveyed in Book 209 of Deeds on page 600;

(3) That part of Government Lot Three (3) in Section Twenty–one (21), Township One Hundred Twenty–three (123) North, Range Twenty–nine (29) West, described as follows, to-wit: Commencing at the northwest corner of said Lot Three (3), and thence along the north line thereof two hundred feet (200) east and at right angles south one hundred forty feet (140) to the point of beginning, which is the center line of the west end of the road platted in Third Addition to Agate Beach; thence west along the extended center line of said road a distance of seventy feet (70); thence southerly in a straight line to a point on the shore line of Grand Lake which is one hundred feet (100) east of the west line of said Lot Three (3) extended southerly; thence easterly along the shore line of said Grand Lake to the southwesterly corner of Lot Nine (9) of said Third Addition to Agate Beach; thence north along the westerly line of said Third Addition to Agate Beach three hundred sixty–one feet (361) to the point of beginning, subject to the right of way of the road in said Third Addition extended to the west line of said Lot Three (3), and by this grant dedicating said road so extended for road purposes; and the grantors do hereby grant a common roadway between the tract herein conveyed and the tract westerly thereof from the said extended road to the garage area northerly of the cottages on this and the tract adjacent to it on the west side, for the common use of the owners and occupants of the part of said Lot Three (3) west of said Third Addition to Agate Beach.

(4) That part of Government Lot Three (3) in Section Twenty–one (21) Township One Hundred Twenty–three (123) North, Range Twenty–nine (29) West, described as follows, to-wit: Commencing at the northwest corner of said Lot Three (3) and thence south along the west line thereof one hundred forty feet (140) to the point of beginning, which is the center line of the road in Third Addition to Agate Beach extended westerly; thence south along the said west line three hundred thirty three and 2/10ths (333.2) feet, more or less to the shore line of Grand Lake; thence easterly along said shore line to a point which is one hundred feet (100) at right angles east of the west line of said Lot Three (3) extended southerly; thence in a straight line northeasterly to a point on the extended center line of the road in said Third Addition to Agate Beach which is one hundred thirty feet (130) east to the point of beginning; thence west along the said extended center line of said road to the point of beginning. Subject to the right of way of the road in said Third Addition extended to the west line of said Lot Three (3), and by this grant dedicating said road so extended for road purposes; and the grantors do hereby grant a common roadway between the tract herein conveyed and the tract easterly thereof from the said extended road to the garage area northerly of the cottages on this and the tract adjacent to it on the east side, for the common use of the owners and occupants of the part of said Lot Three (3) west of said Third Addition to Agate Beach,

(5) that part of said Government Lots Three and Four (3 and 4) described as follows, to-wit: Commencing at a point 250 feet South and 1231 feet East of the intersection of the meander line of Grand Lake and a boundary line between Lots Two and Three (2 and 3), in said Section Twenty–one (21), said point being on the shore of Grand Lake; thence North 35 degrees East 116 feet; thence South 55 degrees East 287 feet; thence South 35 degrees West 116 feet; thence North 55 degrees West 287 feet to the point of beginning, said tract being the area conveyed to Beatrice M. Tenvoorde on April 29, 1946.

(6) That portion of said Government Lot Four (4) platted on 2nd Addition to Agate Beach by plat dated May 28, 1949 and duly filed in Book H of Plats on page 32 thereof;

(7) That part of said tract platted as 3rd Addition to Agate Beach" as platted by plat dated December 31, 1954 and duly filed in Book I of Plats on page 26 thereof.

All of the foregoing being subject to grants of rights–of–way, easements and travel as heretofore granted by the parties of the first part, or as otherwise established; and subject to a gravel removal lease to Paul J. Dlugosch terminating December 1, 1956 on a part of said Lot Three (3).

ACCESS PARCEL SCHEDULE "B" EXHIBITS: (per U.S. Title Solutions File No. 62206–MN1811–5020, effective date December 3, 2018.)

1–6.) Not related to the survey.

7.) Right of Way Conveyance by Clemons Valerius and Theresa Valerius to Standard Oil Company, an Indiana corporation, dated 7/25/1946 recorded 11/19/1946 in book 261 page 99.

Assigned to American Oil Company in Assignment of Rights of Way in Book 35 page 570; Assigned to Tesoro West Coast Company, a Delaware corporation in Assignment in Instrument No. 1023973; Assigned to Kanab Pipe Line Operating Partnership, L.P., a Delaware limited partnership in Assignment in Instrument No. 1056007.

This document describes an easement for pipeline purposes over the entire E 1/2 of the NE 1/4 of Sec. 21, Twp. 123 N, Rng. 29 N. No specific location, description or width of the easement was provided in this document. This document is not shown on the survey. The location of the gas pipeline is as shown on the survey.

8.) Right–of–Way Easement by Marion F. Zapp (single) to Stearns Cooperative Electrical Association, an incorporated cooperative association, organized under the laws of the State of Minnesota, dated 8/28/1984 recorded 12/6/1985 in Instrument No :590716 – A.

The easement for electric purposes described in this document lies in the N 1/2 of the SE 1/4 and part of Gov't Lot 4, Sec. 21, Twp. 123 N, Rng. 29 W. This easement does not affect the surveyed area and is not shown on the survey.

9.) Easement by Edward J. Zapp, Mary Anne Geving and Dale W. Geving to Rockville Township, a political subdivision of the State of Minnesota, dated 6/14/1994 recorded 7/11/1994 in Instrument No : 778689 – A.

This document describes an easement for road and utility purposes over Gov't Lots 3 and 4, Sec. 21, Twp. 123 N, Rng. 29 W. This easement does not affect the surveyed area and is not shown on the survey.

10–14.) Not related to the survey.

PREMISES DESCRIPTION:

That part of the East Half of the Northeast Quarter of Section 21, Township 123 North, Range 29 West of the Fifth Principal Meridian, Stearns County, Minnesota, described as follows:

Commencing at the southeast corner of said East Half of the Northeast Quarter; thence North 0 degrees 04 minutes 02 seconds West along the East line of said East Half of the Northeast Quarter, a distance of 154.06 feet; thence South 89 degrees 55 minutes 58 seconds West, a distance of 226.91 feet to the Point of Beginning of the premises to be described; thence North 0 degrees 00 minutes 00 seconds East, a distance of 100.00 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 100.00 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 100.00 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 100.00 feet to the Point of Beginning.

ACCESS AND UTILITIES EASEMENT DESCRIPTION: (PID-76.41638.0100)

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across the East Half of the Northeast Quarter of Section 21, Township 123 North, Range 29 West of the Fifth Principal Meridian, Stearns County, Minnesota, the centerline of said easement is described as follows:

Commencing at the southeast corner of said East Half of the Northeast Quarter; thence North 0 degrees 04 minutes 02 seconds West along the East line of said East Half of the Northeast Quarter, a distance of 154.06 feet; thence South 89 degrees 55 minutes 58 seconds West, a distance of 226.91 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 85.32 feet to the Point of Beginning of the centerline to be described; thence North 85 degrees 19 minutes 17 seconds East, a distance of 157.77 feet; thence South 70 degrees 18 minutes 52 seconds East, a distance of 32.48 feet to the following described Line "A" and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said Line "A" and at lines bearing North 0 degrees 00 minutes 00 seconds East and South 0 degrees 00 minutes 00 seconds West from the Point of Beginning.

Said Line "A" is described as follows:

Beginning at the southeast corner of the Northeast Quarter of said Section 21; thence West along the South line of said Northeast Quarter, 8 rods; thence in a northeasterly direction 13 rods to a point 4 rods West of the East line of said Northeast Quarter; thence in a Northeasterly direction to a point on the East line of said Northeast Quarter, 18 rods North of the Point of Beginning; thence South along the East line of said Northeast Quarter, 18 rods to the Point of Beginning.

UTILITIES EASEMENT DESCRIPTIONS: (PID-76.41638.0100)

A 10.00 foot wide easement for utility purposes over, under and across the East Half of the Northeast Quarter of Section 21, Township 123 North, Range 29 West of the Fifth Principal Meridian, Stearns County, Minnesota, the centerline of said easement is described as follows:

Commencing at the southeast corner of said East Half of the Northeast Quarter; thence North 0 degrees 04 minutes 02 seconds West along the East line of said East Half of the Northeast Quarter, a distance of 154.06 feet; thence South 89 degrees 55 minutes 58 seconds West, a distance of 226.91 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 65.16 feet to the Point of Beginning of the centerline to be described; thence South 90 degrees 00 minutes 00 seconds East, a distance of 172.46 feet to the following described Line "A" and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said Line "A".

Said Line "A" is described as follows:

Beginning at the southeast corner of the Northeast Quarter of said Section 21; thence West along the South line of said Northeast Quarter, 8 rods; thence in a northeasterly direction 13 rods to a point 4 rods West of the East line of said Northeast Quarter; thence in a Northeasterly direction to a point on the East line of said Northeast Quarter, 18 rods North of the Point of Beginning; thence South along the East line of said Northeast Quarter, 18 rods to the Point of Beginning.

ACCESS AND UTILITIES EASEMENT DESCRIPTION: (PID-76.41639.0300)

A 20.00 foot wide easement for ingress, egress and utility purposes over, under and across the East Half of the Northeast Quarter of Section 21, Township 123 North, Range 29 West of the Fifth Principal Meridian, Stearns County, Minnesota, the centerline of said easement is described as follows:

Commencing at the southeast corner of said East Half of the Northeast Quarter; thence North 0 degrees 04 minutes 02 seconds West along the East line of said East Half of the Northeast Quarter, a distance of 154.06 feet; thence South 89 degrees 55 minutes 58 seconds West, a distance of 226.91 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 85.32 feet; thence North 85 degrees 19 minutes 17 seconds East, a distance of 157.77 feet; thence South 70 degrees 18 minutes 52 seconds East, a distance of 32.48 feet to the following described Line "A" and to the Point of Beginning of the centerline to be described; thence continue South 70 degrees 18 minutes 52 seconds East, a distance of 24.86 feet to the westerly right of way line of Agate Beach Road and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said Line "A" and at said westerly right of way line of Agate Beach Road.

Said Line "A" is described as follows:

Beginning at the southeast corner of the Northeast Quarter of said Section 21; thence West along the South line of said Northeast Quarter, 8 rods; thence in a northeasterly direction 13 rods to a point 4 rods West of the East line of said Northeast Quarter; thence in a Northeasterly direction to a point on the East line of said Northeast Quarter, 18 rods North of the Point of Beginning; thence South along the East line of said Northeast Quarter, 18 rods to the Point of Beginning.

UTILITIES EASEMENT DESCRIPTIONS: (PID-76.41639.0300)

A 10.00 foot wide easement for utility purposes over, under and across the East Half of the Northeast Quarter of Section 21, Township 123 North, Range 29 West of the Fifth Principal Meridian, Stearns County, Minnesota, the centerline of said easement is described as follows:

Commencing at the southeast corner of said East Half of the Northeast Quarter; thence North 0 degrees 04 minutes 02 seconds West along the East line of said East Half of the Northeast Quarter, a distance of 154.06 feet; thence South 89 degrees 55 minutes 58 seconds West, a distance of 226.91 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 65.16 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 172.46 feet to the following described Line "A" and to the Point of Beginning of the centerline to be described; thence continue South 90 degrees 00 minutes 00 seconds East, a distance of 23.86 feet; thence South 70 degrees 18 minutes 52 seconds East, a distance of 15.66 feet to the westerly right of way line of Agate Beach Road and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said Line "A" and at said westerly right of way line of Agate Beach Road.

Said Line "A" is described as follows:

Beginning at the southeast corner of the Northeast Quarter of said Section 21; thence West along the South line of said Northeast Quarter, 8 rods; thence in a northeasterly direction 13 rods to a point 4 rods West of the East line of said Northeast Quarter; thence in a Northeasterly direction to a point on the East line of said Northeast Quarter, 18 rods North of the Point of Beginning; thence South along the East line of said Northeast Quarter, 18 rods to the Point of Beginning.



SITE NAME:
STC GRAND ROCK

Stearns County, MN

No.	Date	REVISIONS	By	CHK	APPD
FIELD WORK:		7/27/16	CHECKED BY: SMK	DRAWN BY:	JMB

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Bryan T. Balcome*
BRYAN T. BALCOME, L.S.
DATE: 12/10/18 LICENSE # 42594

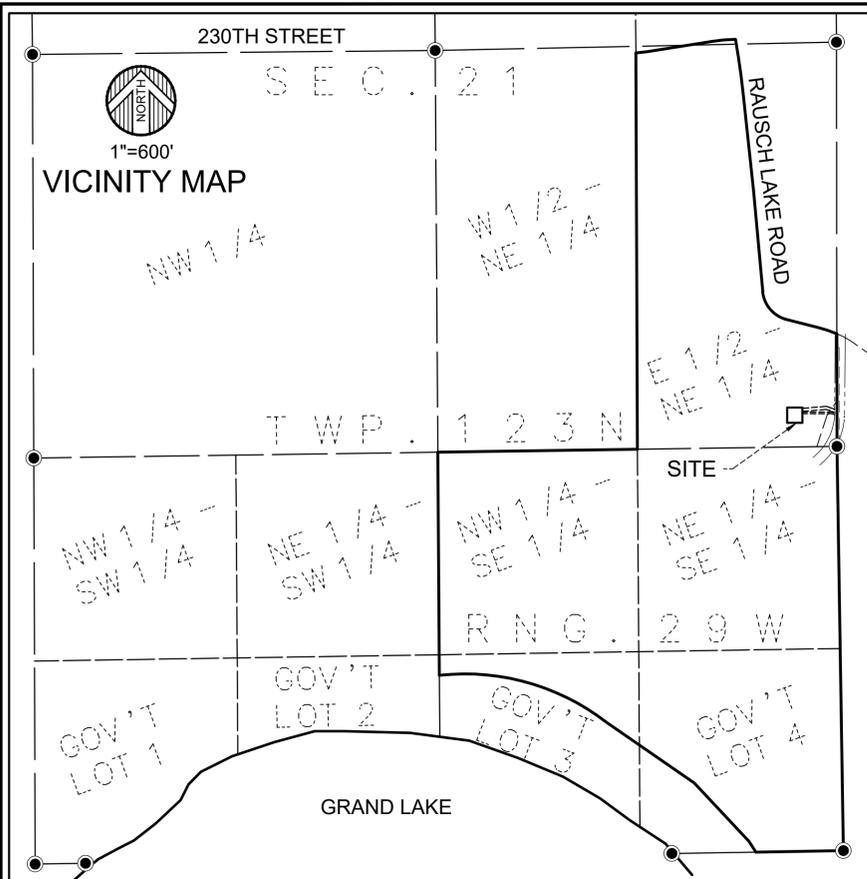
FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"
0494A2347.000



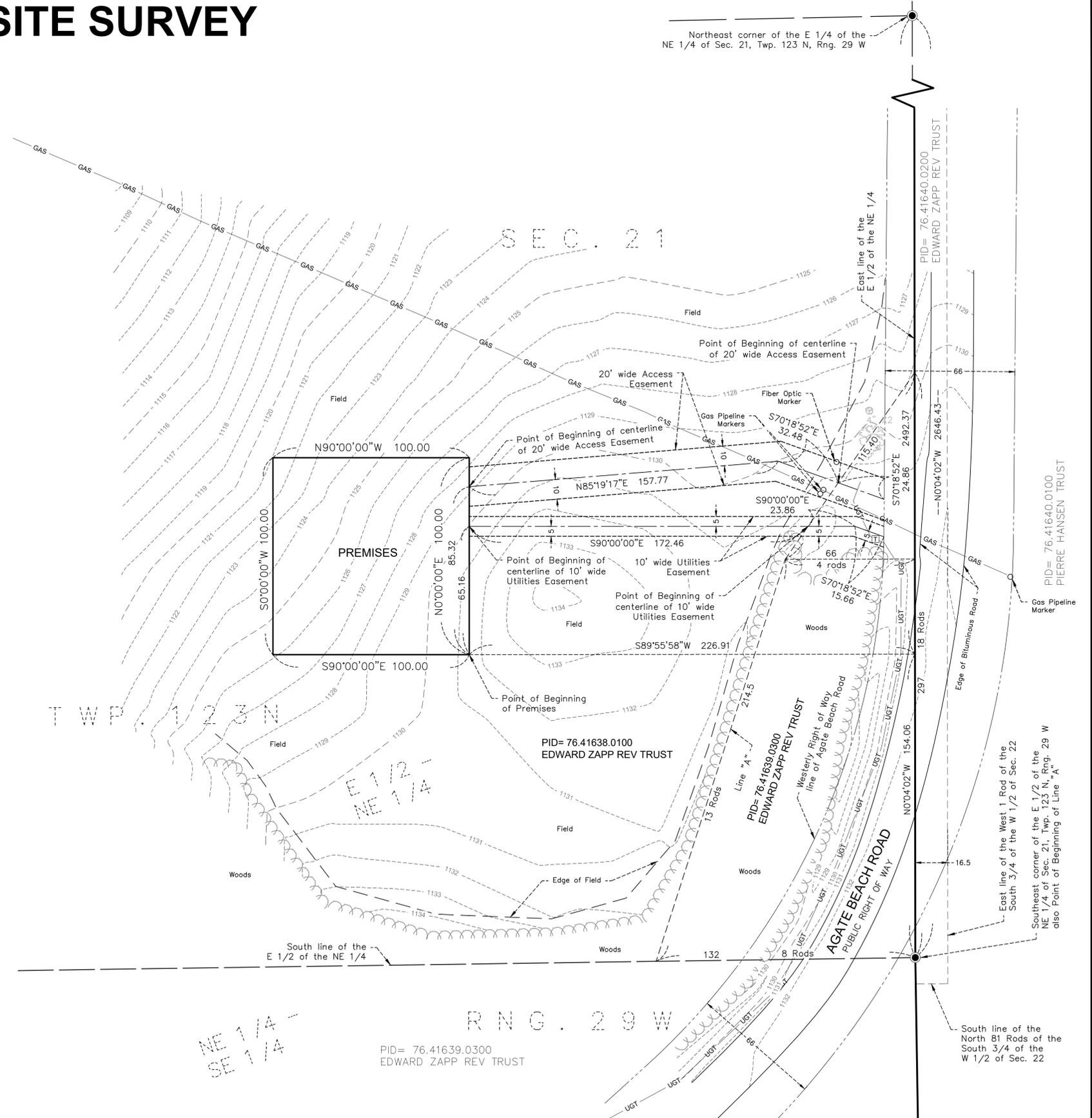
WIDSETH SMITH NOLTING
Engineering | Architecture | Surveying | Environmental

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SHEET 1 OF 2 SHEETS

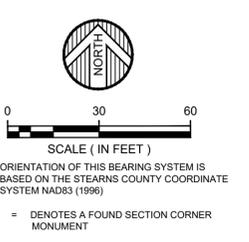
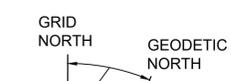


SITE SURVEY



LEGEND

- TREE DECIDUOUS
- TELE PEDESTAL
- GAS
- UNDERGROUND GAS
- UNDERGROUND TELE
- FIELD EDGE
- EDGE OF WOODS
- CENTERLINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- SECTION LINE
- QUARTER LINE
- SIXTEENTH LINE
- PARCEL LINE
- PREMISES
- EASEMENT LINE
- CENTERLINE



SURVEYOR NOTES:

- 1.) Utilities are per observed evidence and markings per GOPHER STATE ONE CALL, Locate Request Ticket No. 171983160, dated July 17, 2017.
- 2.) The Proposed Premises together with all Access and Utilities Easements are within the area described in the Property Description contained herein.

SITE NAME:
STC GRAND ROCK

Stearns County, MN

No.	Date	REVISIONS	By	CHK	APPD
FIELD WORK: 7/27/16		CHECKED BY: SMK	DRAWN BY: JMB		

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Bryan T. Balcome*
BRYAN T. BALCOME, L.S.
DATE: 12/10/18 LICENSE # 42594

Engineering | Architecture | Surveying | Environmental

FULL SCALE ON 22"x34"
HALF SCALE ON 11"x17"
049A2347.000

SHEET 2 OF 2 SHEETS

That part of the Northeast Quarter (NE 1/4) of Section Twenty-one (21), Township One Hundred twenty-three (123), Range Twenty-nine (29), described as follows, to-wit: Beginning at the Southeast corner of said Northeast Quarter (NE 1/4); thence running West along the quarter Line of said Section 8 rods; thence in a Northeasterly direction 13 rods to a point 4 rods West of the East line of said Section Twenty-one (21); thence in a Northeasterly direction to a point on the East line of said Section 18 rods North of the place of beginning; thence South along the East line of said Section 18 rods to the place of beginning;

Also, The North One-half (1/2) Southeast Quarter (SE 1/4) and Government Lot Three (3) and Four (4) in Section Twenty-one (21), Township One Hundred Twenty-three (123), Range Twenty-nine (29), excepting therefrom 7 following described tracts, to-wit:

(1) That Part of said Government Lot 3 described as follows: Commencing Meander corner on the North shore of Grand Lake, and between Government Lots Two and Three (2 and 3) of said Section; thence running South 75 degrees 5 minutes East 468 feet thence South 62 degrees 40 minutes East 719 feet to the place of beginning; from said place of beginning North Thirty-five (35) degrees East 244.6 feet to a wooden stake; thence South 55 degrees East 287 feet to a wooden stake; thence South 35 degrees West to the shore of Grand Lake; thence along the shore of said lake to a point South 35 degrees West from the place of beginning; and thence North 35

degrees East to the place of beginning, containing 1.6 acres, more or less; being the land conveyed in Book 118 of Deeds, page 389;

(2) That part of said Government Lots Three and Four (3 and 4), described as follows, to-wit: Commencing at the intersection of the meander line of the North shore of Grand lake and the line between said Government lots Two and Three (2 and 3) of said Section Twenty-one (21); thence South 74 degrees 13 minutes East a distance of 1523.93 feet to a wooden stake; said last named point being the point of beginning of the tract to be described; thence South 55 degrees East a distance of 125 feet to a wooden stake; thence South 35 degrees West a distance of 367 feet to the shore of Grand Lake; thence Northwesterly (NW) along the shore of Grand Lake to a point South 35 degrees West and distance 367 feet more or less from the point of beginning; thence North 35 degrees East a distance of 367 feet more or less to the point of beginning, and containing 1.05 acres, more or less, said tract being contiguous to the tract described in paragraph one hereinbefore excepted, and having a common Northeasterly line; as conveyed in Book 209 of Deeds on page 600;

(3) That part of Government Lot Three (3) in Section Twenty-one (21), Township One Hundred Twenty-three (123) North, Range Twenty-nine (29) West, described as follows, to-wit: Commencing at the northwest corner of said Lot Three (3), and thence along the north line thereof two hundred feet (200) east and at right angles south one hundred forty feet (140) to the point of beginning, which is the center line of the west end of the road platted in Third Addition to Agate Beach; thence west along the extended center line of said road a distance of seventy feet (70); thence southerly in a straight line to a point on the shore line of Grand Lake which is one hundred feet (100) east of the west line of said Lot Three (3) extended southerly; thence easterly along the shore line of said Grand Lake to the southwesterly corner of Lot Nine (9) of said Third Addition to Agate Beach; thence north along the westerly line of said Third Addition to Agate Beach three hundred sixty-one feet (361) to the point of

beginning, subject to the right of way of the road in said Third Addition extended to the west line of said Lot Three (3), and by this grant dedicating said road so extended for road purposes; and the grantors do hereby grant a common roadway between the tract herein conveyed and the tract westerly thereof from the said extended road to the garage area northerly of the cottages on this and the tract adjacent to it on the west side, for the common use of the owners and occupants of the part of said Lot Three (3) west of said Third Addition to Agate Beach.

(4) That part of Government Lot Three (3) in Section Twenty-one (21) Township One Hundred Twenty-three (123) North, Range Twenty-nine (29) West, described as follows, to-wit; Commencing at the northwest corner of said Lot Three (3) and thence south along the west line thereof one hundred forty feet (140) to the point of beginning, which is the center line of the road in Third Addition to Agate Beach extended westerly; thence south along the said west line three hundred thirty three and 2/10ths (333.2) feet, more or less to the shore line of Grand Lake; thence easterly along said shore line to a point which is one hundred feet (100) at right angles east of the west line of said Lot Three (3) extended southerly; thence in a straight line northeasterly to a point on the extended center line of the road in said Third Addition to Agate Beach which is one hundred thirty feet (130) east to the point of beginning; thence west along the said extended center line of said road to the point of beginning. Subject to the right of way of the road in said Third Addition extended to the west line of said Lot Three (3), and by this grant dedicating said road so extended for road purposes; and the grantors do hereby grant a common roadway between the tract herein conveyed and the tract easterly thereof from the said extended road to the garage area northerly of the cottages on this and the tract adjacent to it on the east side, for the common use of the owners and occupants of the part of said Lot Three (3) west of said Third Addition to Agate Beach,

(5) that part of -said Government Lots Three and Four (3 and 4) described as follows, to-wit: Commencing at a point 250 feet South and 1231 feet East of the intersection of the meander line of Grand Lake and a boundary line between Lots Two and Three (2 and 3), in said Section Twenty-one (21), said point being on the shore of Grand Lake; thence North 35 degrees East 116 feet; thence South 55 degrees East 287 feet; thence South 35 degrees West 116 feet; thence North 55 degrees West 287 feet to the point of beginning, said tract, being the area conveyed to Beatrice M. Tenvoorde on April 29, 1946.

(6) That portion of said Government Lot Four (4) platted on "Third Addition to Agate Beach" by plat dated May 28, 1949 and duly filed in Book H of Plats on page 32 thereof;

(7) That part of said tract platted as "Third Addition to Agate Beach" as platted by plat dated December 31, 1954 and duly filed in Book I of Plats on page 26 thereof.

FINDING OF FACT
CRITERIA FOR GRANTING CONDITIONAL USE PERMITS

In granting a Conditional Use Permit, the City Council will consider the advice and recommendation of the Planning Commission and the effect of the proposed use upon the health, safety, morals, and general welfare of occupants of surrounding land, including land values. Among other things, the City Council must make the following findings when applicable.

1. **Not a Burden on Public Facilities.** The use will not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

2. **Compatible with Existing and Planned Adjacent Uses.** That the establishment of the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for existing and planned uses in the area.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

3. **No Adverse Affect on Adjacent Properties.** The structure and site will not have an appearance, traffic, noise, odors, fumes, dust, vibration, light or emission levels or other features that will have an adverse effect upon adjacent properties for purposes already in use or permitted.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

4. **Related to the Needs of the City.** The use is reasonably related to the overall needs of the City and to existing land uses.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

5. **Consistent with the Comprehensive Plan.** The proposed use is in compliance with the Land Use Plan and other portion of the Comprehensive Plan adopted by the City.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

6. **Not a Traffic Hazard.** The use will not cause a traffic hazard or congestion.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

7. **Adequate Parking and Loading.** That maximum measures have been or will be taken to provide maximum off-street parking and loading space to serve the proposed use.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

8. **Not detrimental to Health, Safety and Welfare.** The proposed use will not be detrimental to the public health, safety, comfort and general welfare of the City.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

9. **Floodplain.** For property located in Floodplain districts, the criteria set out in the Floodplain Ordinance will be met.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

10. **Shore land.** For property located in Shore land districts, the criteria set out in the Shore land Ordinance will be met.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

11. **Feedlots.** Feedlots will meet the requirements of this Ordinance and all other applicable ordinances.
Becker _____ Simon _____ Tippelt _____ Herberg _____ Willenbring _____

ADDITIONAL CONDITIONS

In permitting a new conditional use or the alteration of an existing conditional use, the Planning Commission may recommend the imposition of and the City Council may impose conditions considered necessary to protect the best interest of the surrounding area or the City as a whole, in addition to the standards and requirements expressly specified by this Ordinance. These conditions may include, but are not limited to the following:

1. Increasing the required lot size or yard dimensions.
2. Limiting the height, size, number or location of buildings.
3. Controlling the location and number of vehicle access points.
4. Increasing the street width.
5. Increasing the number of required off-street parking spaces.
6. Limiting the number, size, location or lighting of signs.
7. Requiring diking, berming, fencing, screening, landscaping or other facilities to protect adjacent or nearby property.
8. Designating sites for open space.
9. Designating operating hours and noise levels.
10. A time limit on the use.
11. Any other condition the Planning Commission or City Council deems necessary to protect the public interest.
12. Additional Conditions may be imposed on property located in a floodplain in accord with the Floodplain Ordinance.
13. Additional Conditions may be imposed on property covered by the Shore land Ordinance.
14. Additional Conditions may be imposed on feedlots in accord with other applicable ordinances including without limitation Stearns County's Ordinances relating to feedlots.

Building Permits: April 2019

Parcel #	REASON	ADDRESS	DATE	PERMIT #	Valuation	Permit \$	Review	SSC	Fees
76.42220.0001	Siding Garage	132 1st Street W	4/19/2019	2019-00008		\$ 25.00		\$ 1.00	\$ 26.00
76.42301.0021	Roofing	21786 Co Rd 8	4/29/2019	2019-00009		\$ 25.00		\$ 1.00	\$ 26.00
76.41950.0001	Plumbing	600 Othmar Ln	4/3/2019	2019-00019		\$ 40.00		\$ 1.00	\$ 42.00
76.42141.0031	Single Family New Construction	25470 Pleasant Rd	4/2/2019	2019-00020	\$ 219,900.00	\$ 1,354.78	\$ 880.61	\$ 123.16	\$ 2,358.55
76.41649.0200	Mechanical	11262 Grand Lake Rd	4/18/2019	2019-00021		\$ 40.00		\$ 1.00	\$ 41.00
76.42142.0065	Mechanical	25801 Lena Ln	4/19/2019	2019-00022		\$ 40.00		\$ 1.00	\$ 41.00
76.41649.0200	Plumbing	11262 Grand Lake Rd	4/23/2019	2019-00023		\$ 40.00		\$ 1.00	\$ 82.00
76.42141.0031	Plumbing	25470 Pleasant Rd	4/29/2019	2019-00024		\$ 75.00		\$ 1.00	\$ 76.00